

THE 27 ELM

CITY REVIEW
NOT FOR CONSTRUCTION

A HUNTER RENAISSANCE DEVELOPMENT

REDMOND, OREGON

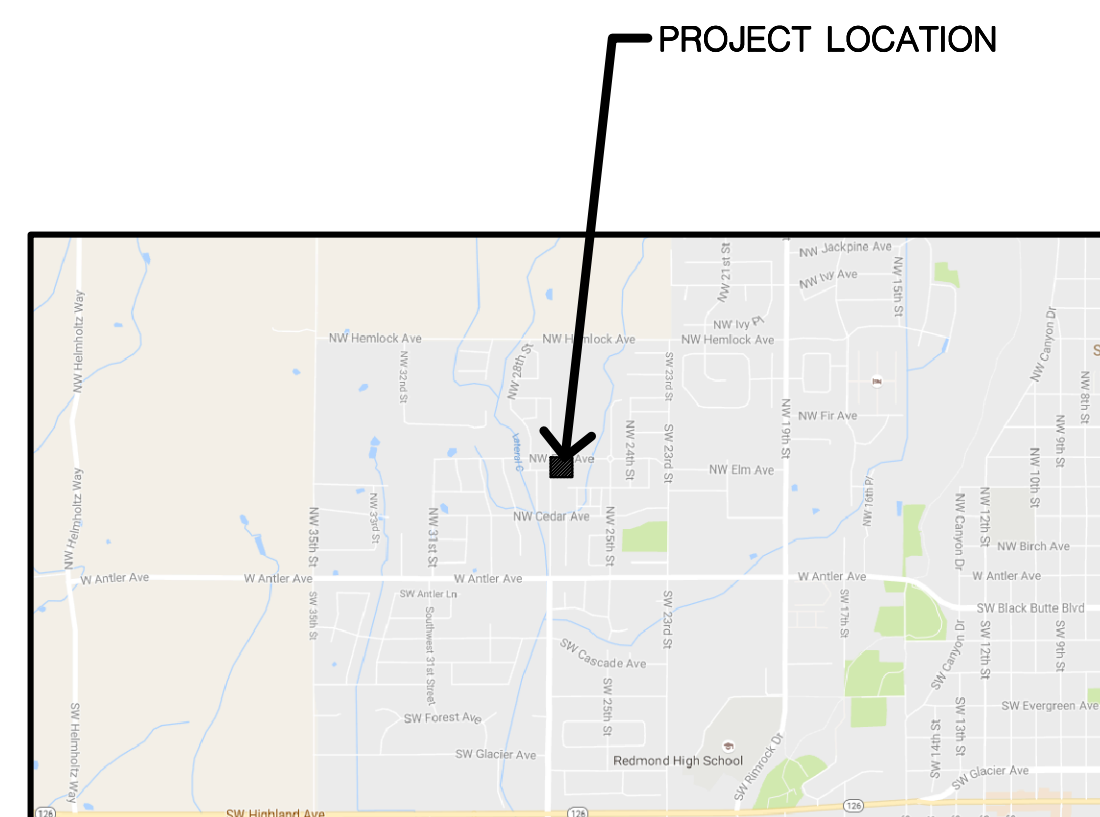
NW ELM AVE.

CONSTRUCTION DOCUMENTS

PROJECT INFORMATION

Legal Address:	NW 27th and NW Elm Redmond, Oregon	Building Area:	Unit A	Unit B
Applicable Code:	IRC 2014 Oregon Residential Specialty Code	1st Floor	736 sf	736 sf
Construction Type:	V-B	2nd Floor	736 sf	440 sf
Stories:	2	Total:	1,472 sf	1,176 sf
Fire Sprinkled:	No			
Required Footing Depth:	18 inches			
Design Wind Speed:	110 mph, risk category II			
Required Seismic Design Category:	D2 Residential			
Ground Snow Load:	15 psf add to flat roofs			
Fire Separations Required:	"Modified" 2-hour wall party wall at common walls between units			

VICINITY PLAN



SYMBOL KEY

Door Number Callout	Window/Relite Callout	Keynote
Material Key Callout 03371AA	Drawing Revision Callout	Special Callout
Grid Callout	Elevation (Plan)	Elevation (Sect/Elev)
STAIR Room Name / Number 223	Elevation Callout	Detail Callout
Building Section Callout	Detail Designation Sheet Location	Detail Designation Sheet Location
Detail Designation Sheet Location	Wall Section Callout	Detail Section Callout
Detail Designation Sheet Location	Detail Designation Sheet Location	Detail Designation Sheet Location

PROJECT TEAM

OWNER :
Hunter Renaissance Development
2001 W. CHURCHILL STREET
CHICAGO, ILLINOIS 60647
TEL: (773) 278-8448

ARCHITECT :
think Architecture, pllc
1529 COLUMBIA PARK TRAIL, SUITE B312
RICHLAND, WASHINGTON 99352
TEL: (208) 850-7180

CONTRACTOR :
Shawn Vickers Construction
20614 REDWING LANE
BEND, OREGON 97702
TEL: (541) 948-6372

STRUCTURAL :
Axiom, pllc
121 N. 9th, SUITE 401
BOISE, IDAHO 83702
TEL: (208) 639-4520

MECHANICAL :
Tikker Engineering
9384 W. OVERLAND., SUITE 190
BOISE, IDAHO 83709
TEL: (208) 658-0218

ELECTRICAL :
e2co
800 S. INDUSTRY WAY, SUITE 350
MERIDIAN, IDAHO 83642
TEL: (208) 378-4451



SHEET INDEX

ARCHITECTURAL

- A0.00 Cover Sheet
- A1.01 Site Plan
- A1.02 Site Details
- A1.03 Covered Parking Details
- A2.01 Floor Plans
- A2.02 Unit Plans - Unit A
- A2.03 Unit Plans - Unit B
- A2.11 Roof Plan
- A3.01 Exterior Elevations
- A3.11 Building Sections
- A3.21 Wall Sections
- A5.01 Interior Elevations
- A6.01 Casework Details
- A7.01 Schedules
- A7.01 Door and Window Types
- A7.01 Details

CIVIL

- C2.01 Civil Site Plan

STRUCTURAL

- S0.01 Structural Cover Sheet
- S0.02 General Notes
- S0.03 General Notes
- S1.01 Foundation Plan
- S1.02 Floor Framing Plan

STRUCTURAL (Cont.)

- S1.03 Roof Framing Plan
- S5.01 Concrete Standard Details
- S5.02 Concrete Standard Details
- S5.03 Foundation Details
- S5.61 Wood Standard Details
- S5.62 Wood Standard Details
- S5.63 Floor Framing Details
- S5.64 Floor Framing Details
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- S6.61 Wood Schedules

MECHANICAL

- M1.00 Mechanical Cover Sheet
- M2.00 HVAC Plan
- M3.00 Waste Plan
- M4.00 Plumbing Plan

ELECTRICAL

- E0.0 Electrical Symbols list & Sheet Index
- E1.0 Electrical Site Plan
- E2.0L First Floor Lighting Plan
- E2.0P First Floor Power Plan
- E2.0S First Floor Special Systems Plan
- E2.1L Second Floor Lighting Plan
- E2.1P Second Floor Power Plan
- E2.1S Second Floor Special Systems Plan
- E3.0 One Line Diagram and Electrical Details



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Richland, WA 99352
p: 208.850.7180

NEW DEVELOPMENT
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A HUNTER RENAISSANCE DEVELOPMENT
REDMOND OREGON



READERS ARE INSTRUCTED TO CAREFULLY REVIEW THE CONSTRUCTION DOCUMENTS AND THE SITE CONDITIONS PRIOR TO BIDDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DOCUMENT SET AND CANNOT BE ACCURATELY ESTIMATED BY REFERENCE TO OTHER THAN COMPLETE DOCUMENT SETS.

COVER SHEET

Sheet Title
AS NOTED
Scale
1602
Project Number
NOVEMBER 8, 2016
Date
1602SHEETSET.DWG
File Name

Revisions

A0.00

SITE PLAN FOR REDMOND RENAISSANCE

A PORTION OF LOT 3 OF FAIRHAVEN, PHASE IV LOCATED IN THE SW 1/4 OF THE SE 1/4 OF SECTION 8
TOWNSHIP 15 SOUTH, RANGE 13 EAST, WILLAMETTE MERIDIAN
CITY OF REDMOND, DESCHUTES COUNTY, OREGON
2016

PLANT LEGEND

Symbol	Type	Scientific Name	Common Name	Planting Size	Height	Width
	Tree	Picea abies 'Cupressina'	Columnar Norway Spruce	4'-6" B & B	20'	5'-6"
	Tree	Cedrus atlantica 'Glauca Fastigiata'	Columnar Blue Atlas	6'-7" B & B	15'	6"
	Tree	Quercus robur 'Fastigiata'	Columnar English Oak	2 1/2" - Cal Mini	50'	15'
	Tree	Cotinus coggygria 'Royal Purple'	Royal Purple Smoke Tree	2 1/2" - CAL MINI	5'	12'
	Tree	Acer pseudoplatanus 'Esk. Sunset'	Eskimo Sunset Sycamore	1/4" - 2" - CAL MINI	12'	10'
	Tree	Juniperus scopulorum 'Blue Arrow'	Blue Arrow Juniper	6'-7" B & B	12'-15'	24'
	Shrub	Cornus Alba 'Ballhala'	Ivory Halo? Dogwood	#5	6'	16'
	Shrub	Syringa Pubescens Subsp. Patula Miss	Miss Kim Manchurian Lilac	#5	48"	48"
	Shrub	Berberis thunbergii 'Helmond Pillar'	Helmond Pillar Barberry	#5	36"-48"	24"
	Perennial	Hemerocallis 'Texas Sunlight'	Yellow daylily - Rebloomer	#2	---	18"
	Shrub	Eucunymus japonicus var. microphyllus	Woodruff Delight	#4	24"	24"
	Shrub	Heuchera Micrantha x Palace Purple	Palace Purple Coral Bells	#2	12"	18"
	Shrub	Heuchera x Lime Rickey	Lime Rickey Coral Bells	#2	8"	18"
	Shrub	Sedum reflexum 'Blue Spruce'	Blue Spruce Stone Crop	#2	6"-8"	5"-18"
	Shrub	Veronica 'Tidal Pool'	Tidal Pool Prostrate Speedwell	#2	2'-3'	36"
	Rock	Landscape Boulder		12 @ 24" - 36" dia.		

LEGEND

	SUBDIVISION PHASE LINE		SIGN
	SUBDIVISION BOUNDARY		(e) FIRE HYDRANT
	EXISTING LOT LINE		(e) SANITARY SEWER CLEANOUT
	CENTER LINE		(e) CATCH BASIN
	SETBACK		(e) MONITOR WELL
	LOT NUMBER		(e) STORM DRAIN MANHOLE
	CONCRETE/PEDESTRIAN ACCESS 10,518 SF		(e) SANITARY SEWER MANHOLE
	ASPHALT/DRIVE AISLE 27,873 SF		EXISTING TREE(S)
	LANDSCAPED AREA		
	(e) ASPHALT ON-SITE		
	(e) ASPHALT OFF-SITE		

ARCHITECT

THINK ARCHITECTURE
MATT HUFFIELD
1529 COLUMBIA PARK TRAIL
RICHLAND, WA 99352
(208) 850-7180

ACREAGE SUMMARY

TOTAL = 1.79 ACRES (78,141 SF)

PARKING SUMMARY

TOTAL PARKING STALLS = 72

BUILDING SUMMARY

TOTAL RESIDENTIAL BUILDINGS = 9
UNITS PER BUILDING = 4
UNITS (2 EA PER BUILDING) = 36
1,472 SF -
1,176 SF -
TOTAL = 47,673 SF

LOT SUMMARY & COVERAGE

TOTAL RESIDENTIAL LOTS = 36
STRUCTURES = 26,568 SF (34%)
LANDSCAPE = 13,182 SF (17%)
NON-PERMEABLE 38,391 SF (49%)

ZONING

R-4 GENERAL RESIDENTIAL

SETBACK LINES

R-4 (TOWN HOMES)

15' FRONT

20' REAR

5/10' SIDE

15' STREET SIDE

SEWER, WATER, & ROADWAY JURISDICTION

PUBLIC WORKS (MAIN FACILITY)
CITY OF REDMOND PUBLIC WORKS
243 E ANTLER AVE.
REDMOND, OR 97756
PHONE: 541-504-2000
FAX: 541-548-0253

FIRE DISTRICT

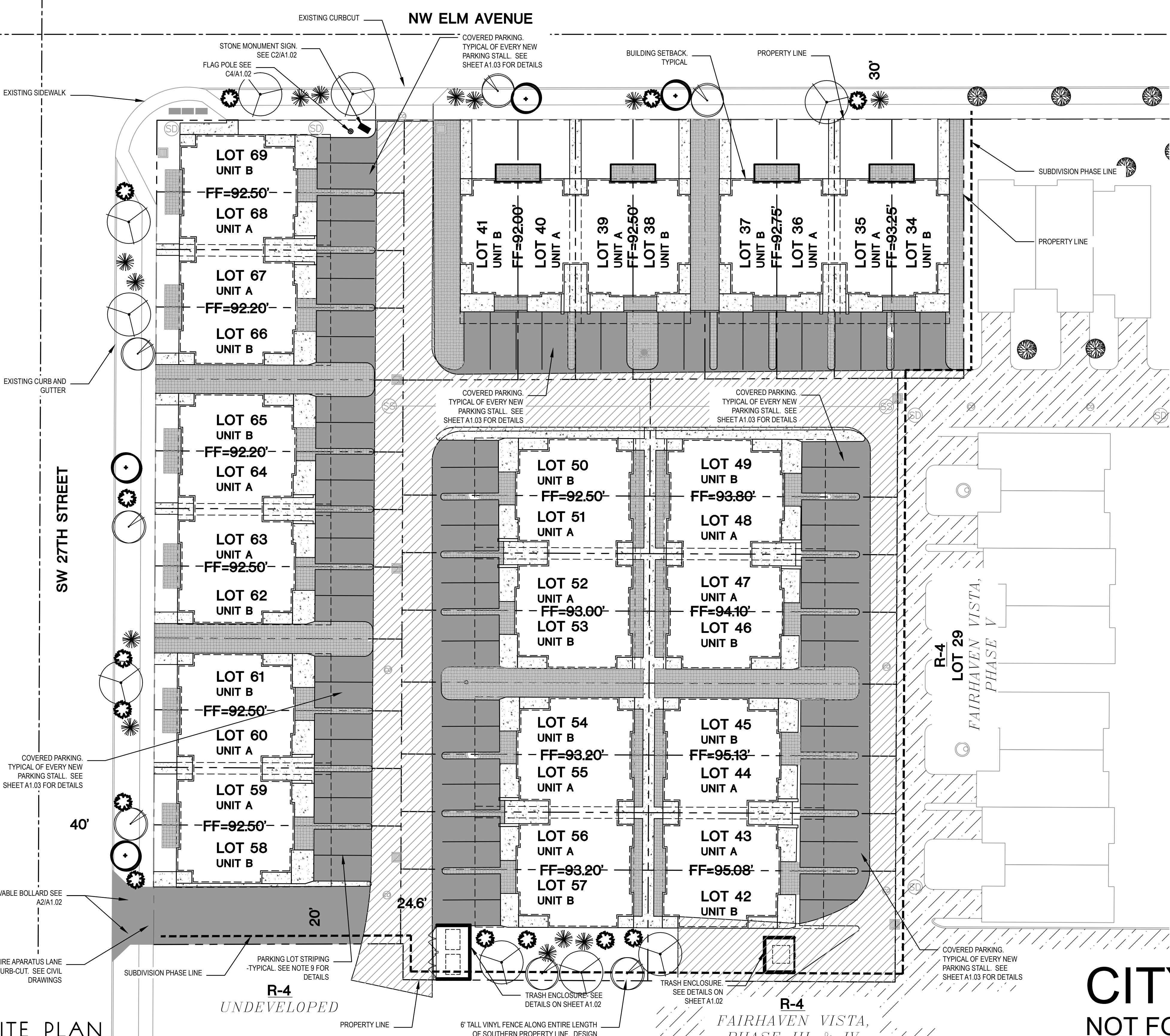
REDMOND FIRE DEPARTMENT

IRRIGATION DISTRICT

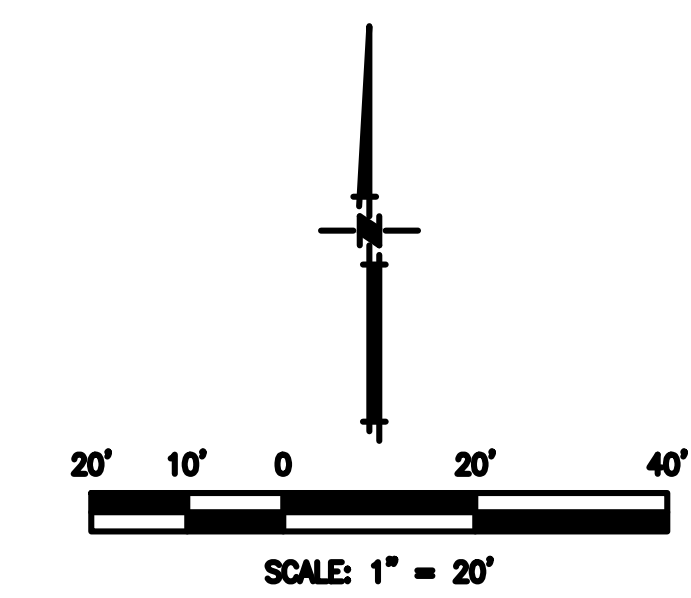
CENTRAL OREGON IRRIGATION DISTRICT

NOTES:

- STORM WATER RUN OFF SHALL BE CONTAINED ON SITE BY MEANS OF BORROW DITCHES AND DRAINAGE SWALES AS NEEDED. STORM DRAINAGE WILL BE DESIGNED IN ACCORDANCE WITH THE CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES FOR WASHINGTON CITIES AND COUNTIES.
- PUBLIC UTILITY, DRAINAGE, AND IRRIGATION EASEMENTS WILL BE AS FOLLOWS:
 - 10 FEET WIDE ADJACENT TO THE SUBDIVISION BOUNDARY & PUBLIC RIGHT-OF-WAY
 - 5 FEET WIDE ON EACH SIDE OF INTERIOR LOT LINES. (INDIVIDUAL LOT DRAINAGE ONLY)
 - ALL OTHER EASEMENTS ARE PER FINAL PLAT INSTRUMENT #CS151710; PAGE G 1b2 & PIPING EASEMENT INSTRUMENT #2001-44616.
- NO PORTION OF THE SITE APPEARS TO BE WITHIN THE FEMA DESIGNATED FLOODWAY OR FLOODPLAIN.
- ALL LOTS WILL BE SERVED BY THE CITY OF REDMOND PUBLIC WORKS UTILITIES FOR WATER & SEWER.
- THE SITE IS ZONED R4 - GENERAL RESIDENTIAL.
- ALL ROADWAYS WILL BE CONSTRUCTED TO THE CITY OF REDMOND PUBLIC ROADWAY STANDARDS. THE ROADWAYS WILL BE DEDICATED FOR PUBLIC USE AND MAINTAINED BY THE CITY OF REDMOND PUBLIC WORKS.
- PRESSURE IRRIGATION WILL BE PROVIDED TO EACH LOT.
- NO LOT IN THIS SUBDIVISION SHALL TAKE DIRECT ACCESS TO SW 27TH STREET OR NW ELM AVENUE.
- PAVEMENT MARKING PAINT: LATEX WATERBORNE EMULSION LEAD AND CHORMATE FREE, READY MIXED, COMPLYING WITH FS TP-1952, WITH DRYING TIME OF LESS THAN 45 MINUTES. COLOR TO BE YELLOW.
- SITE UTILITIES AND ENGINEERING IS EXISTING. USE DRAWINGS HICKMAN, WILLIAMS & ASSOCIATES DRAWINGS DATED 05/28/14 FOR GRADING AND PAVING ELEVATION INFORMATION. CONTRACTOR TO SITE VERIFY ACCURACY OF EXISTING CONDITIONS



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OREGON

REGISTERED ARCHITECT
MATT HUFFIELD
State of Oregon
Lic. # 9860

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Sheet Title	Date
AS NOTED	1602
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Revisions	

A1.01

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CITY REVIEW

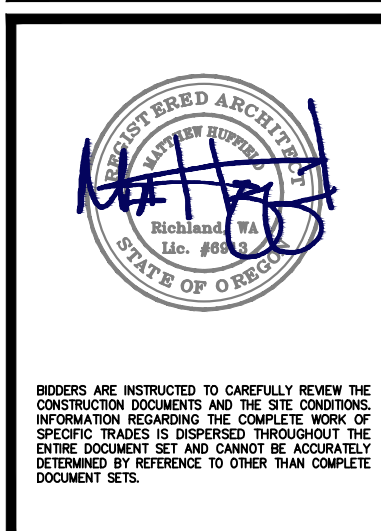
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REDMOND OREGON



SITE DETAILS

Sheet Title

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Scale

1602

Project Number

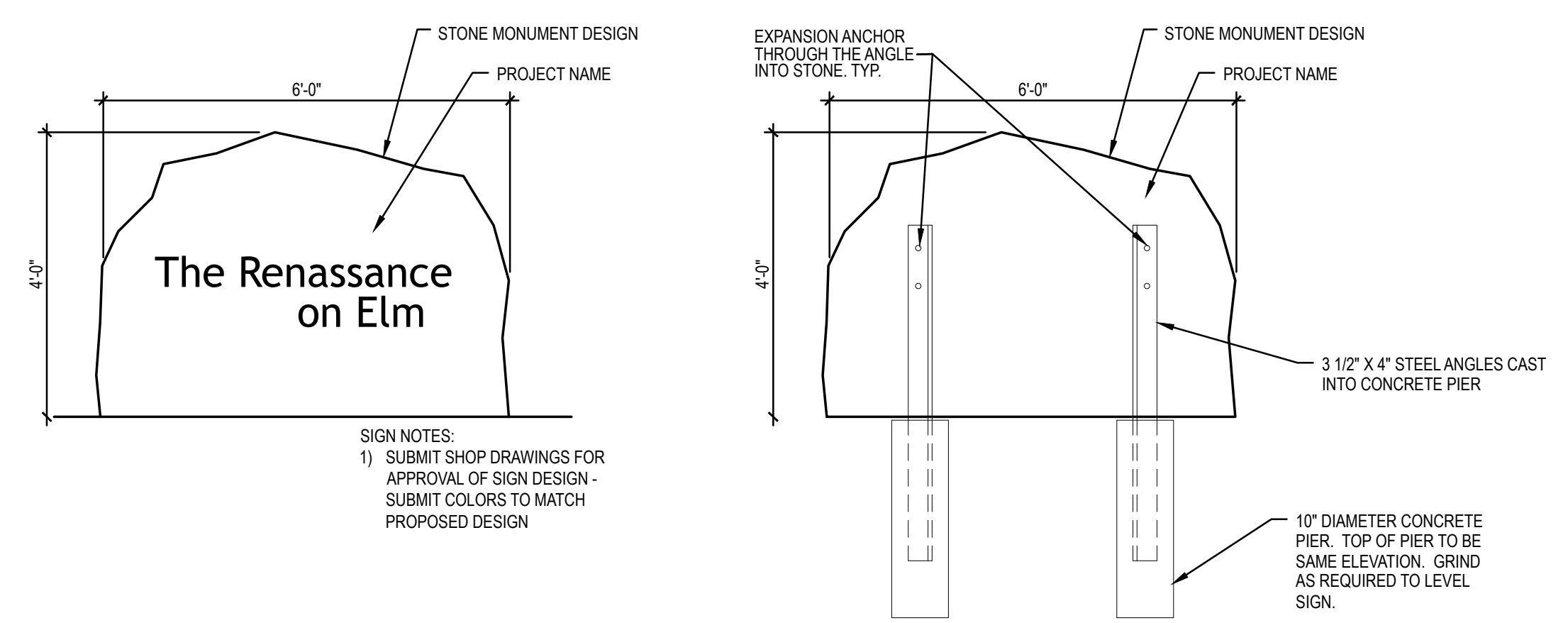
NOVEMBER 8, 2016

Date

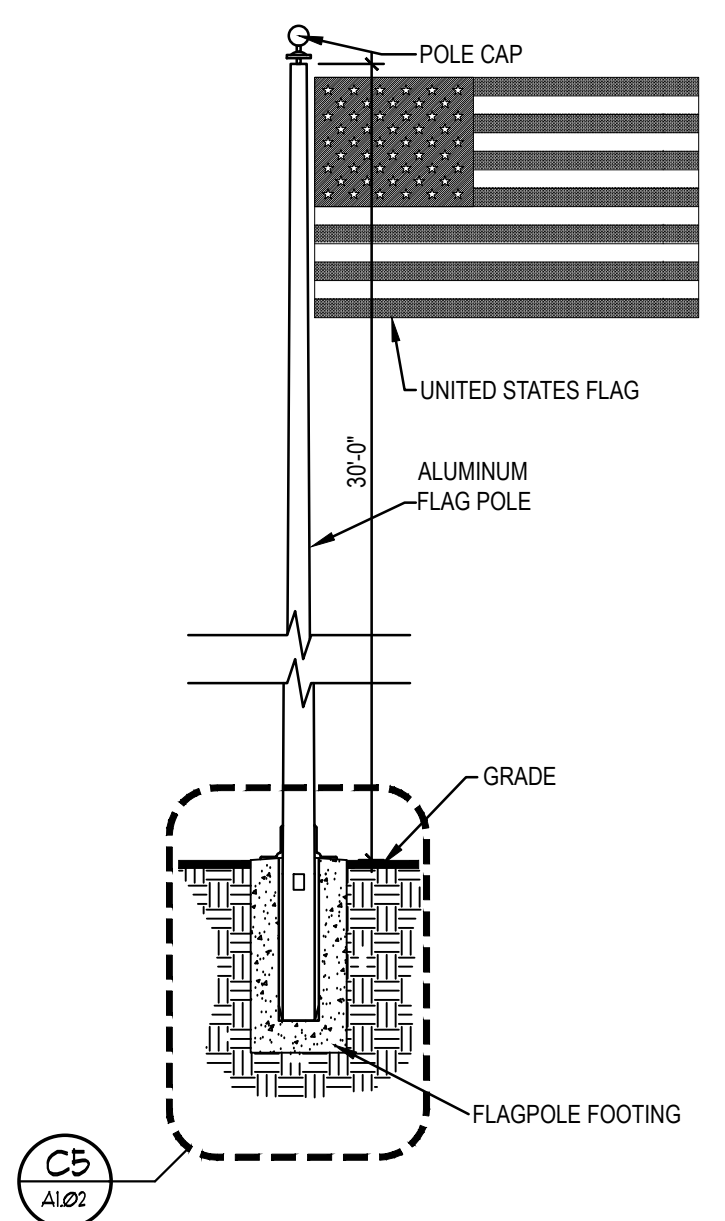
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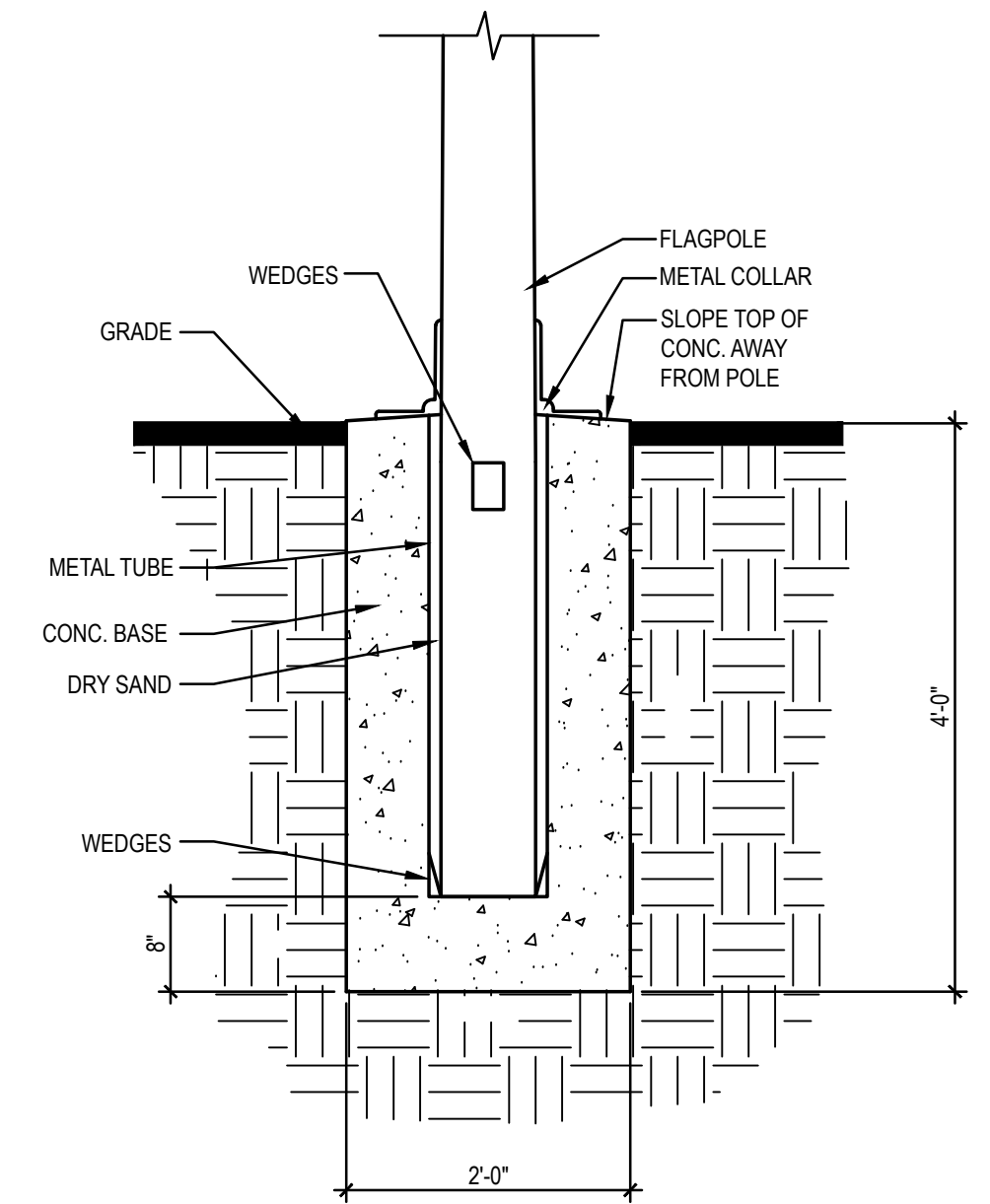
Revisions



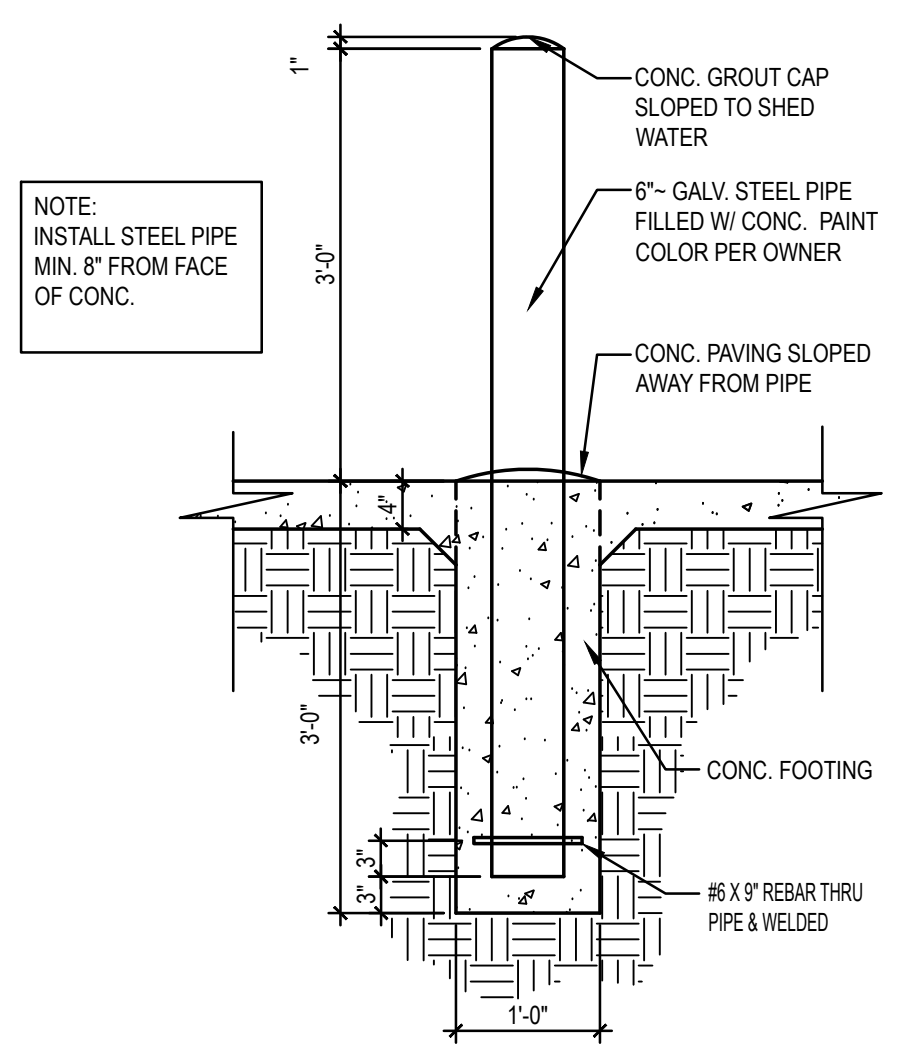
C2 STONE MONUMENT SIGN
1/2" = 1'-0"



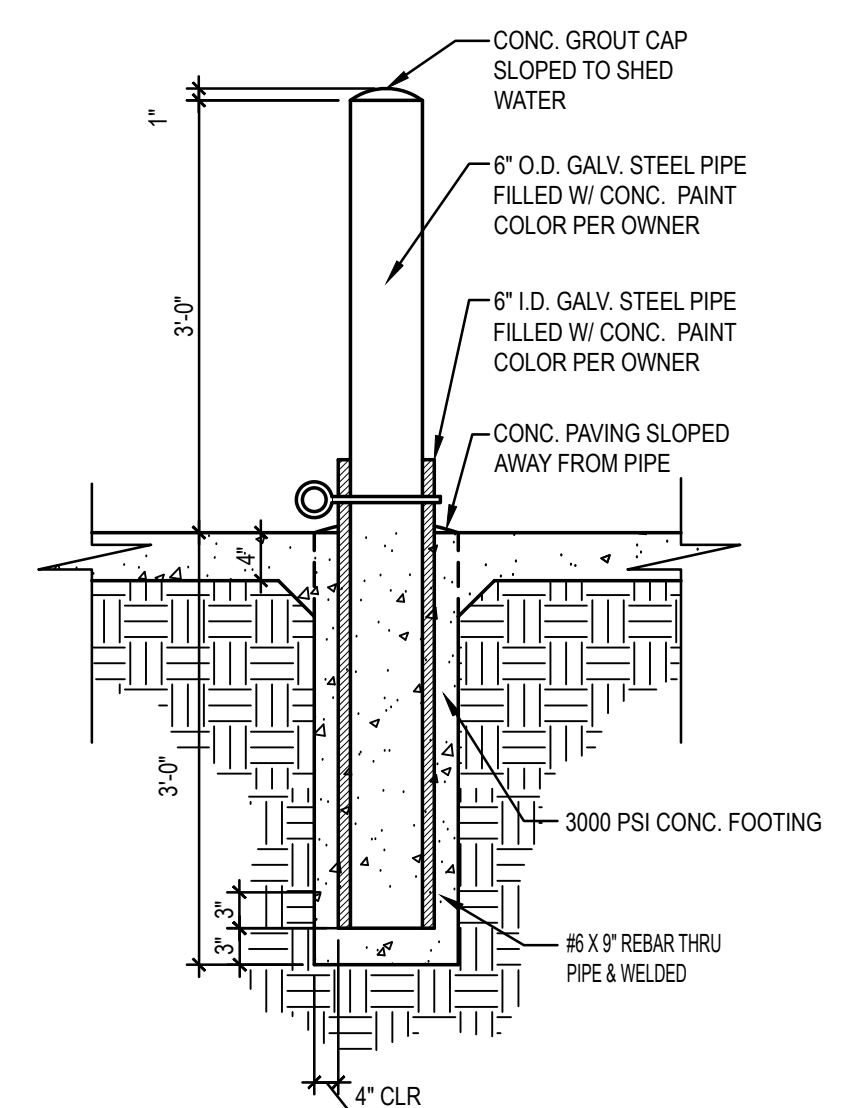
C4 FLAG POLE DETAIL
1/4" = 1'-0"



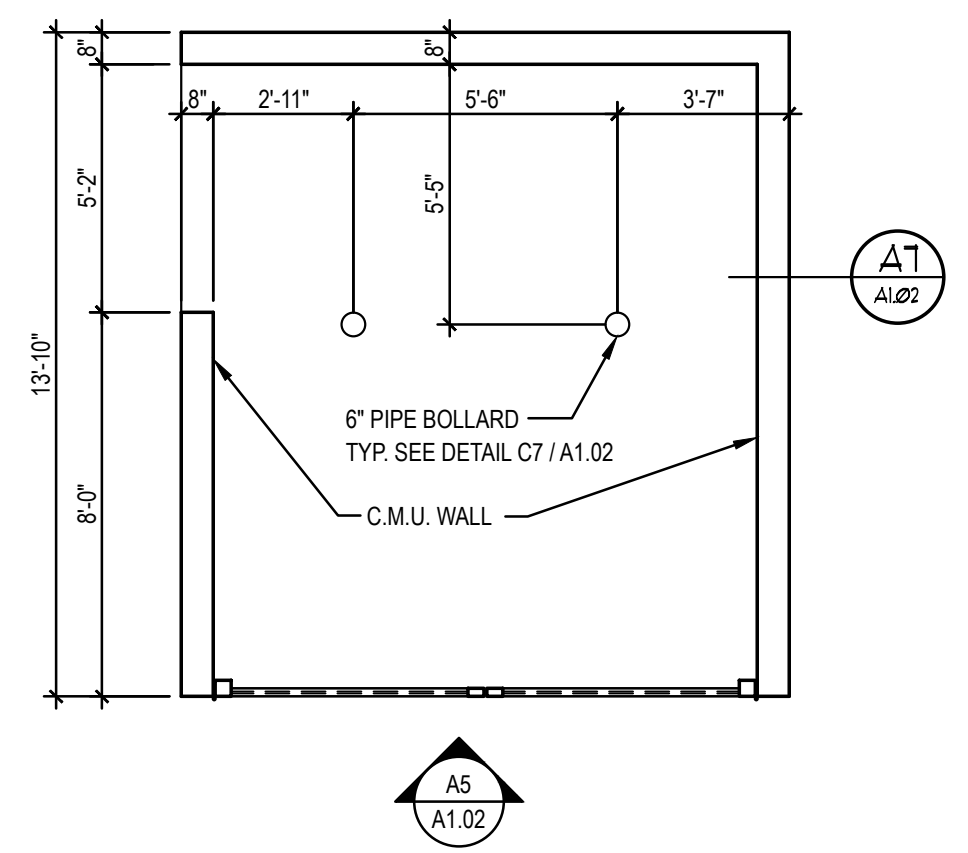
C5 FLAG POLE BASE DETAIL
3/4" = 1'-0"



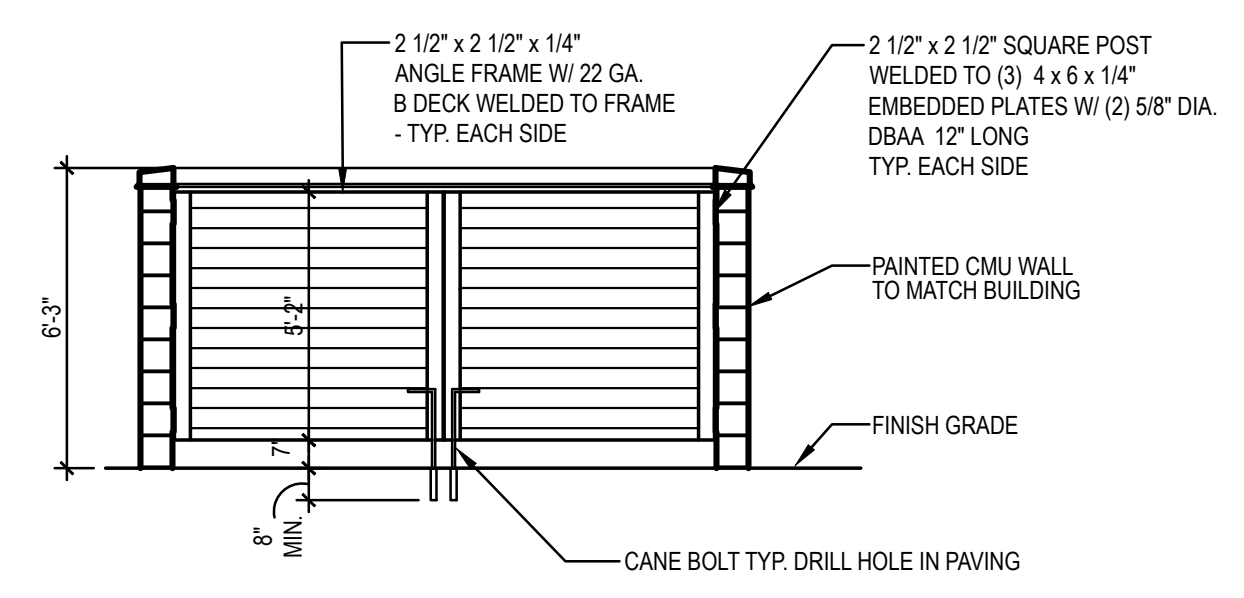
C7 PIPE BOLLARD DETAIL
3/4" = 1'-0"



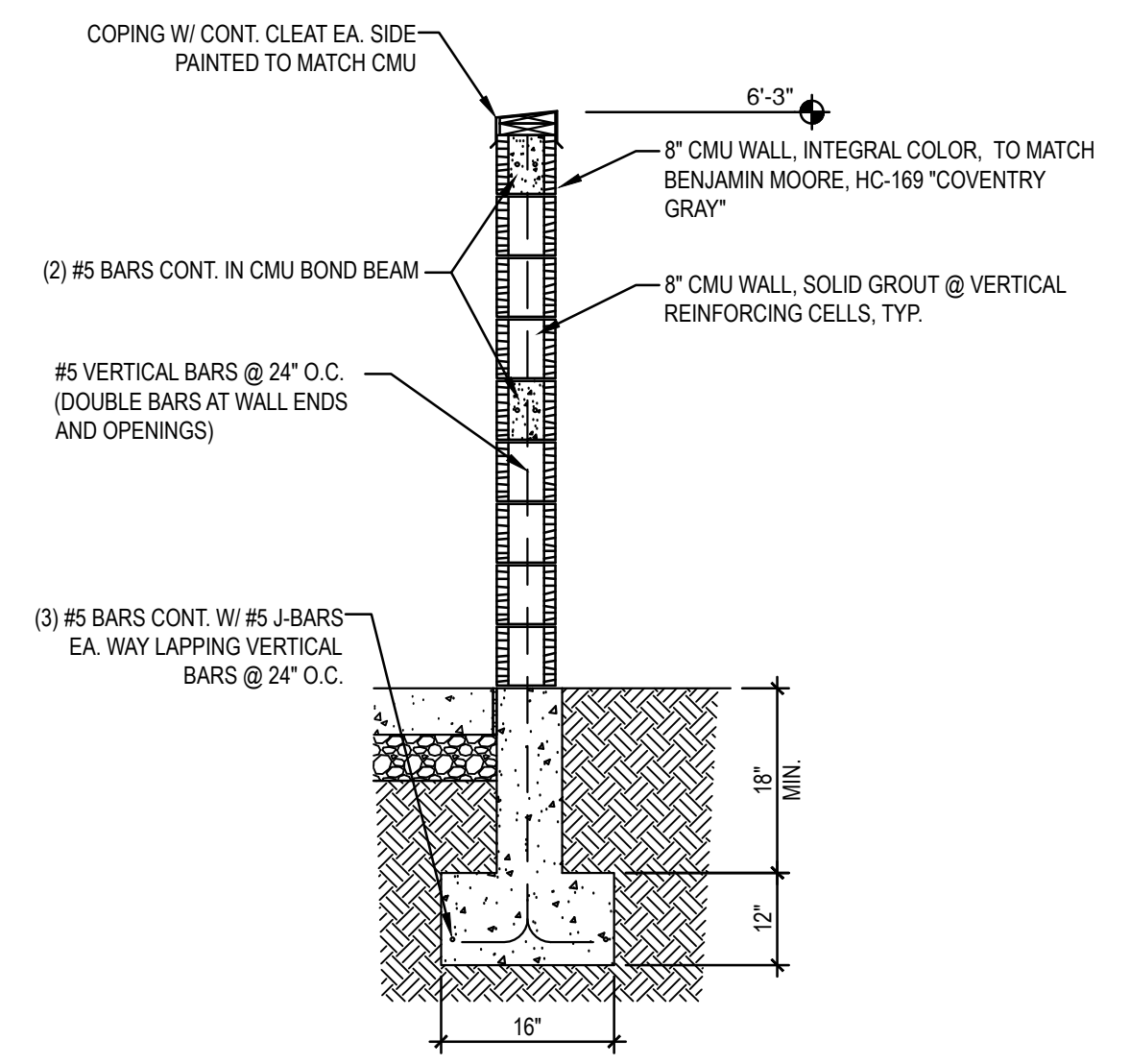
A2 REMOVABLE BOLLARD
1/4" = 1'-0"



A4 TRASH ENCLOSURE PLAN
1/4" = 1'-0"

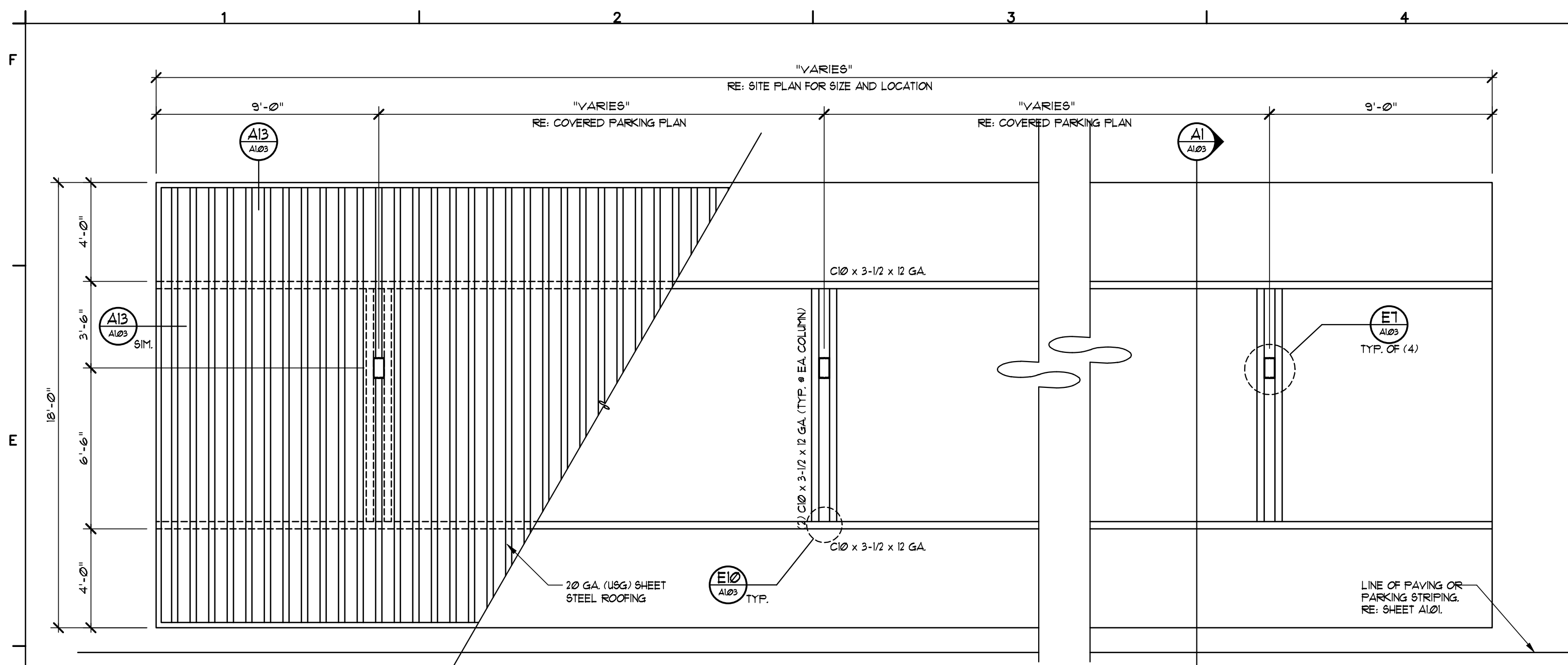


A5 TRASH ENCLOSURE FRONT ELEVATION
1/4" = 1'-0"

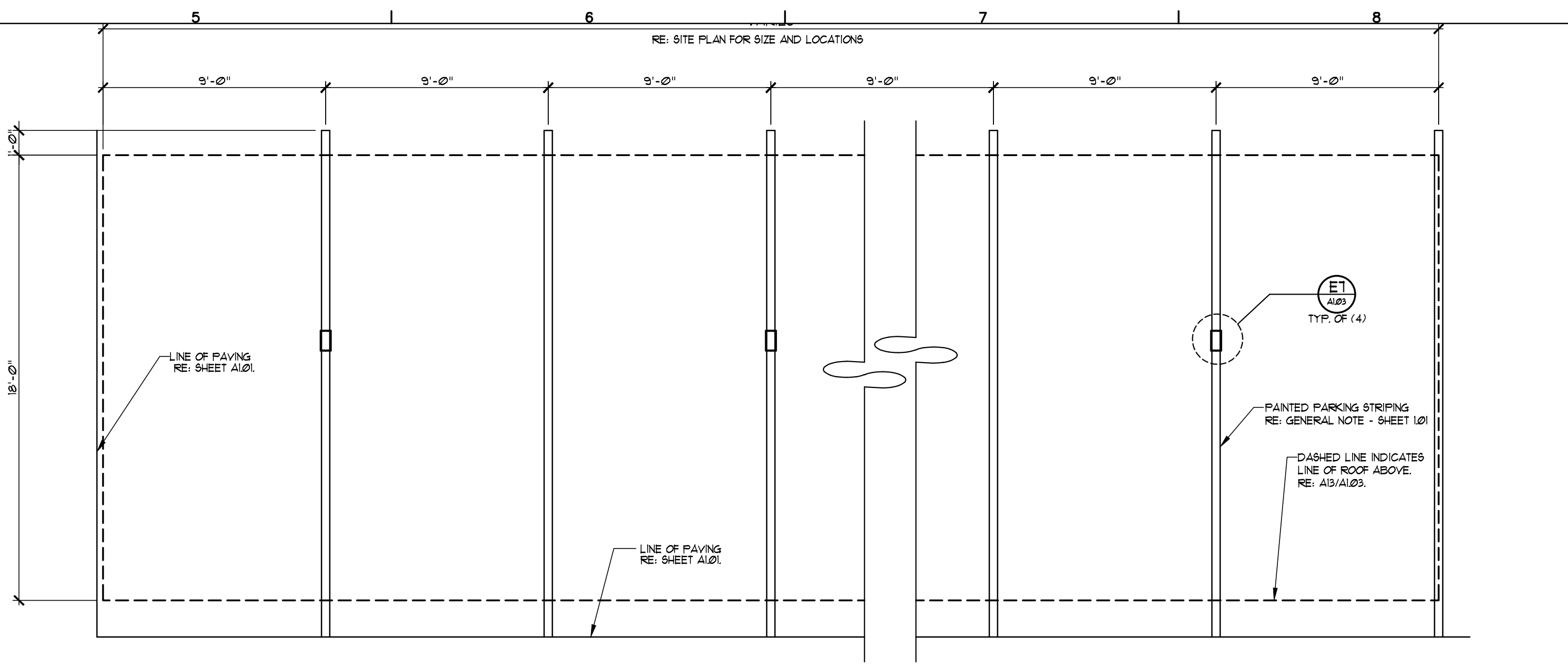


A7 TRASH ENCLOSURE WALL SECTION
1/2" = 1'-0"

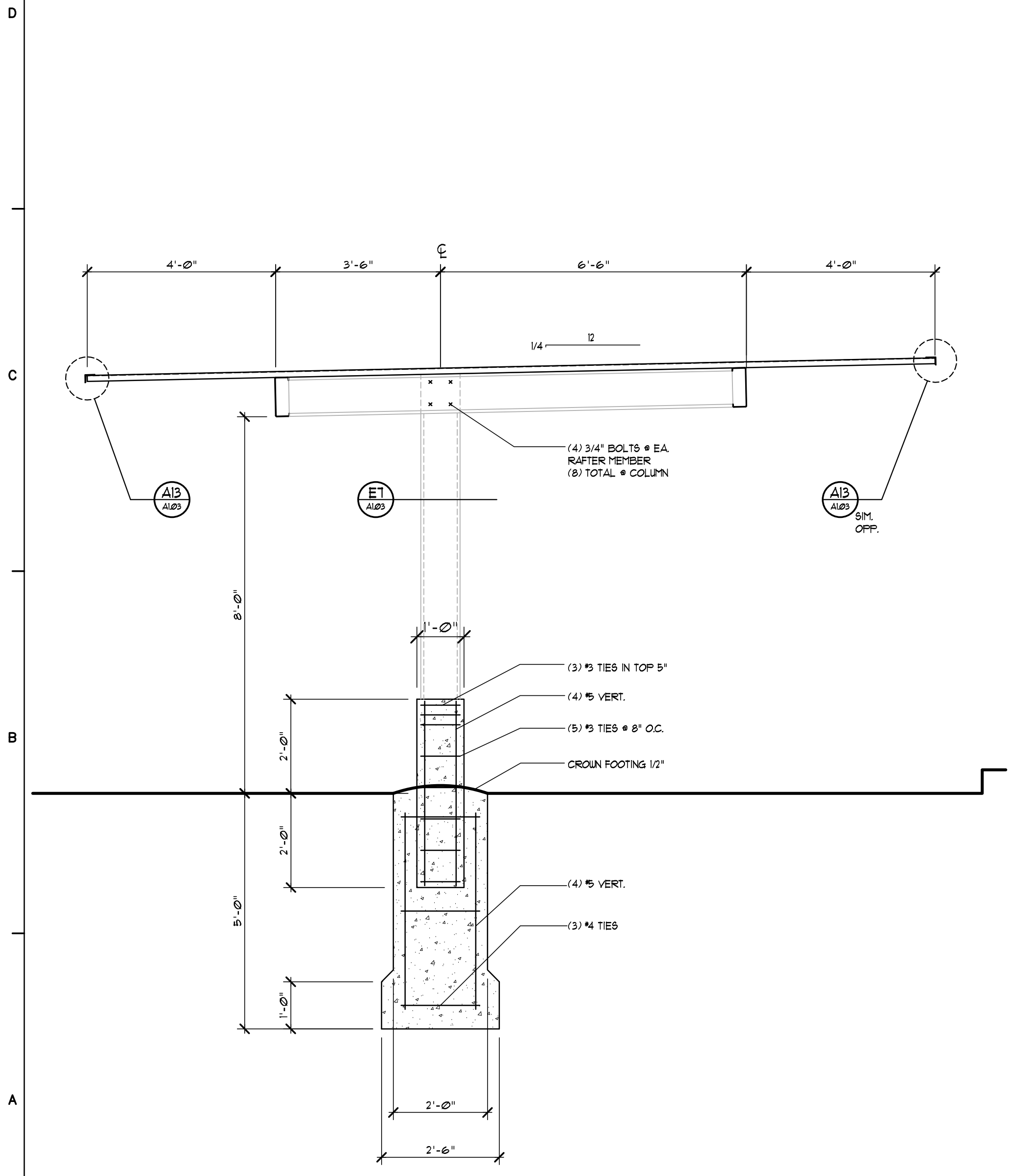
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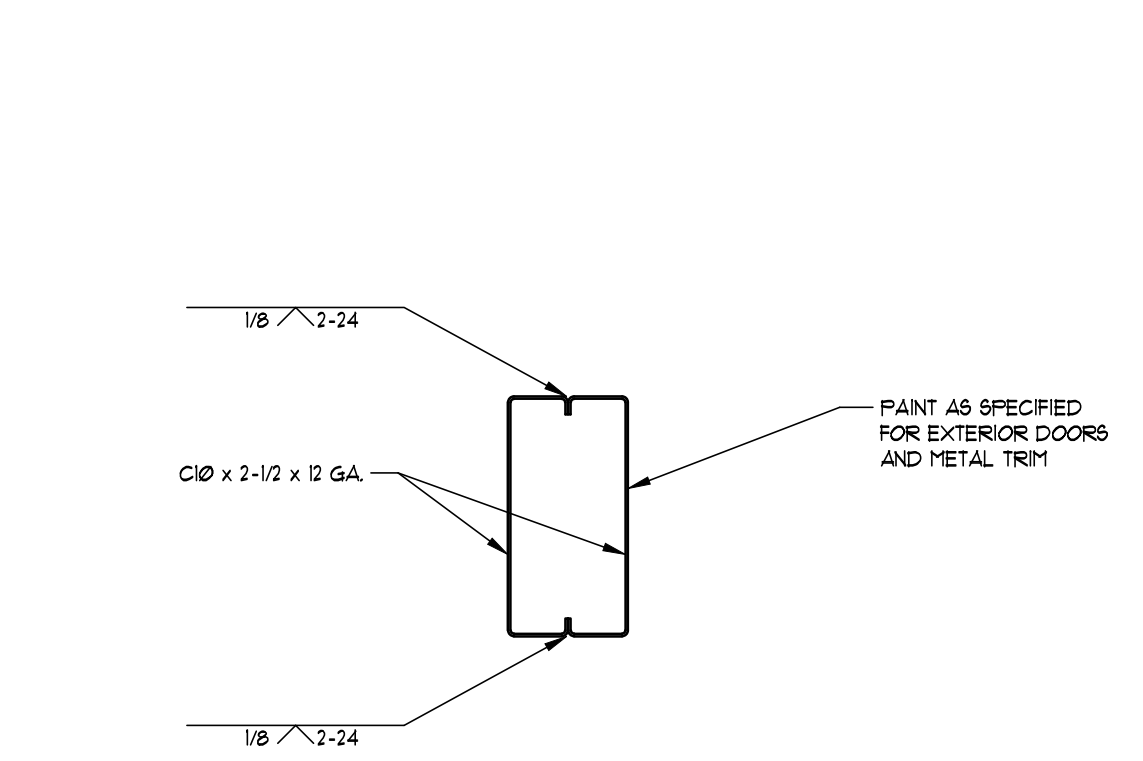
J1 COVERED PARKING-FRAMING PLAN
1/4" = 1'-0"



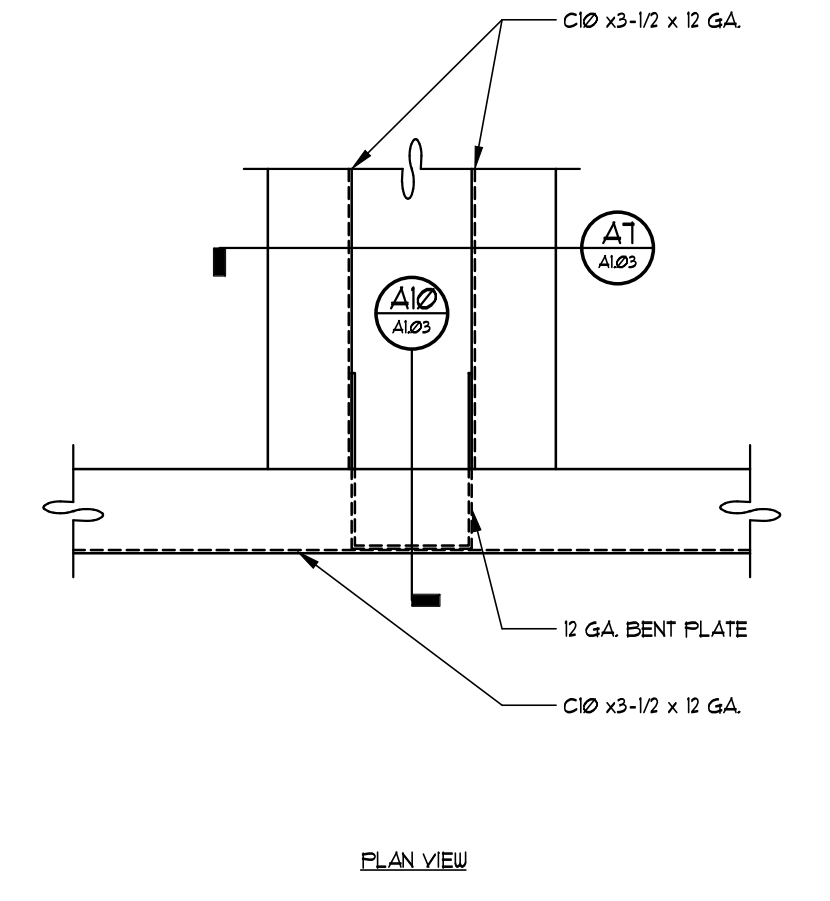
H9 COVERED PARKING PLAN
1/4" = 1'-0"



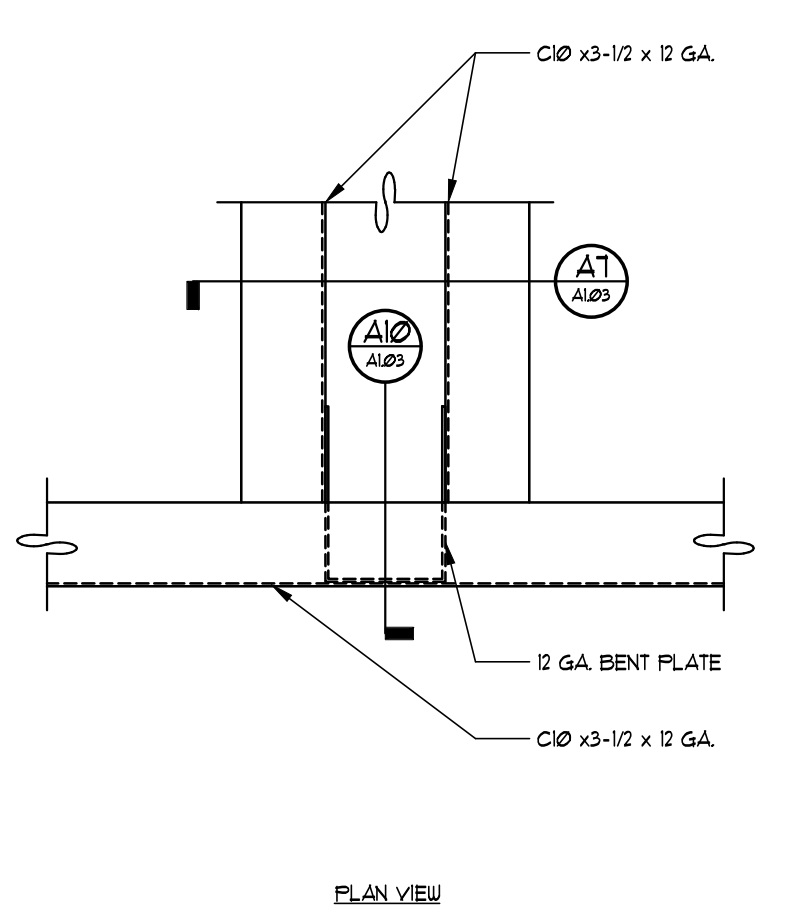
A1 COVERED PARKING SECTION
1/2" = 1'-0"



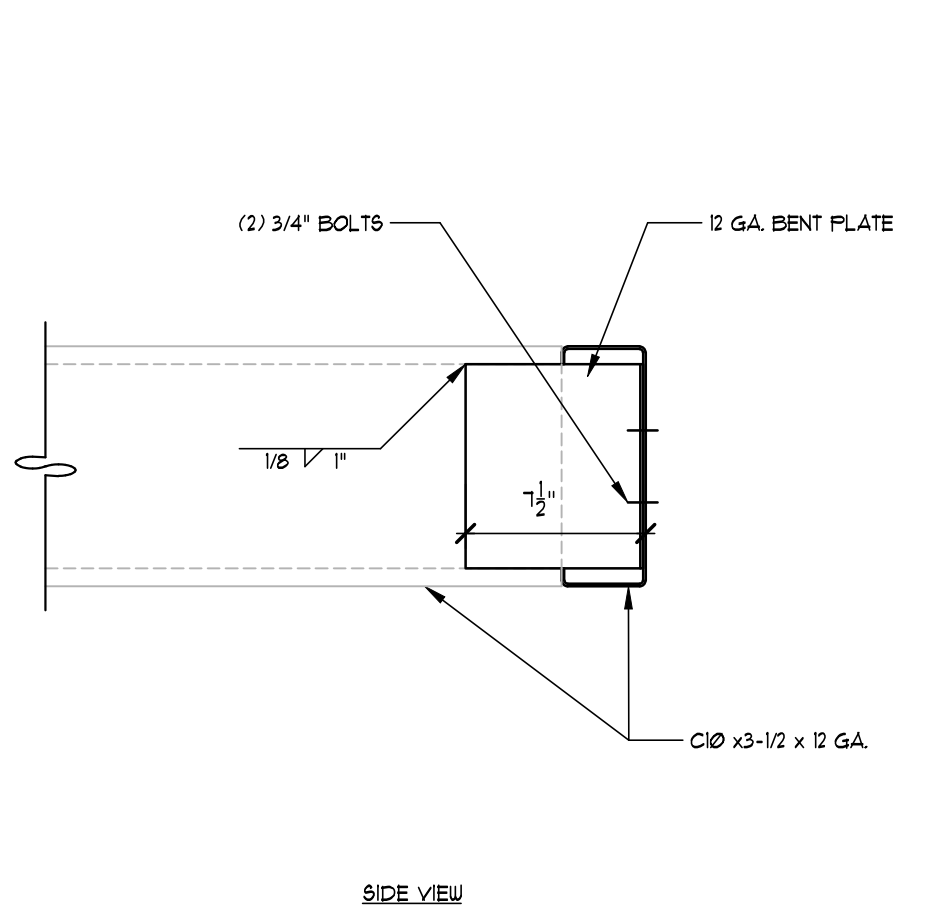
E7 COLUMN SECTION
1 1/2" = 1'-0"



E10 RAFTER FRAMING
1 1/2" = 1'-0"

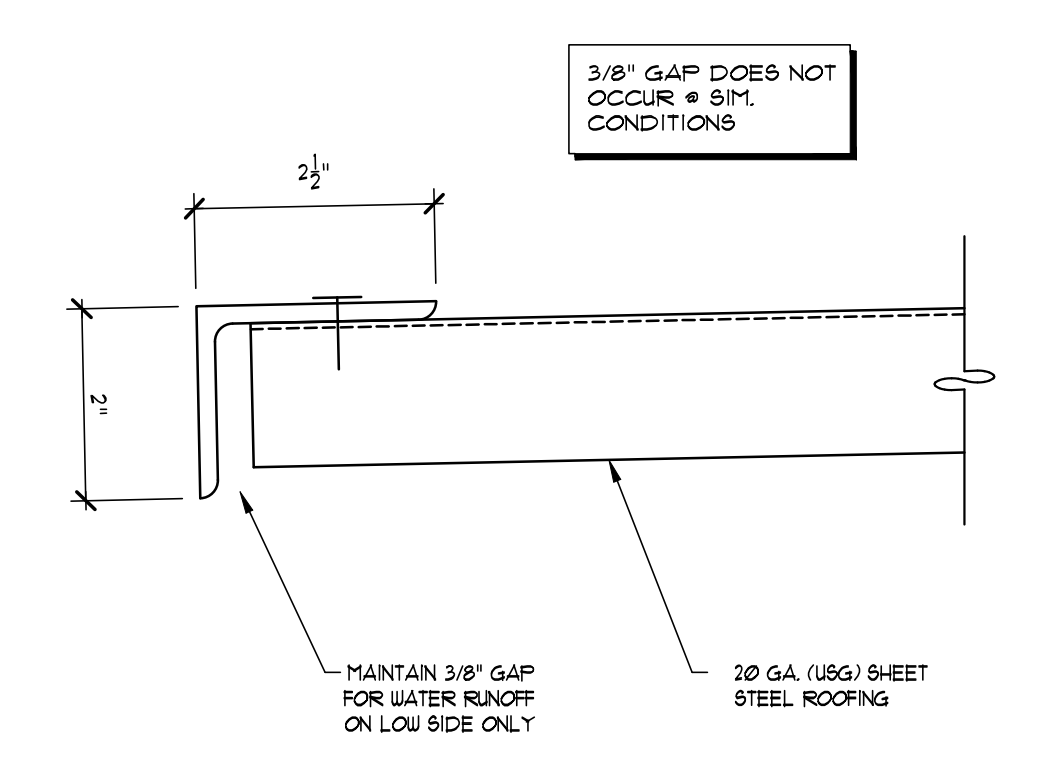


A7 RAFTER FRAMING
1 1/2" = 1'-0"



A10 RAFTER FRAMING
1 1/2" = 1'-0"

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A13 TYPICAL EDGE CAP TRIM
1/2" = 1'-0"

WALL TYPE SCHEDULE

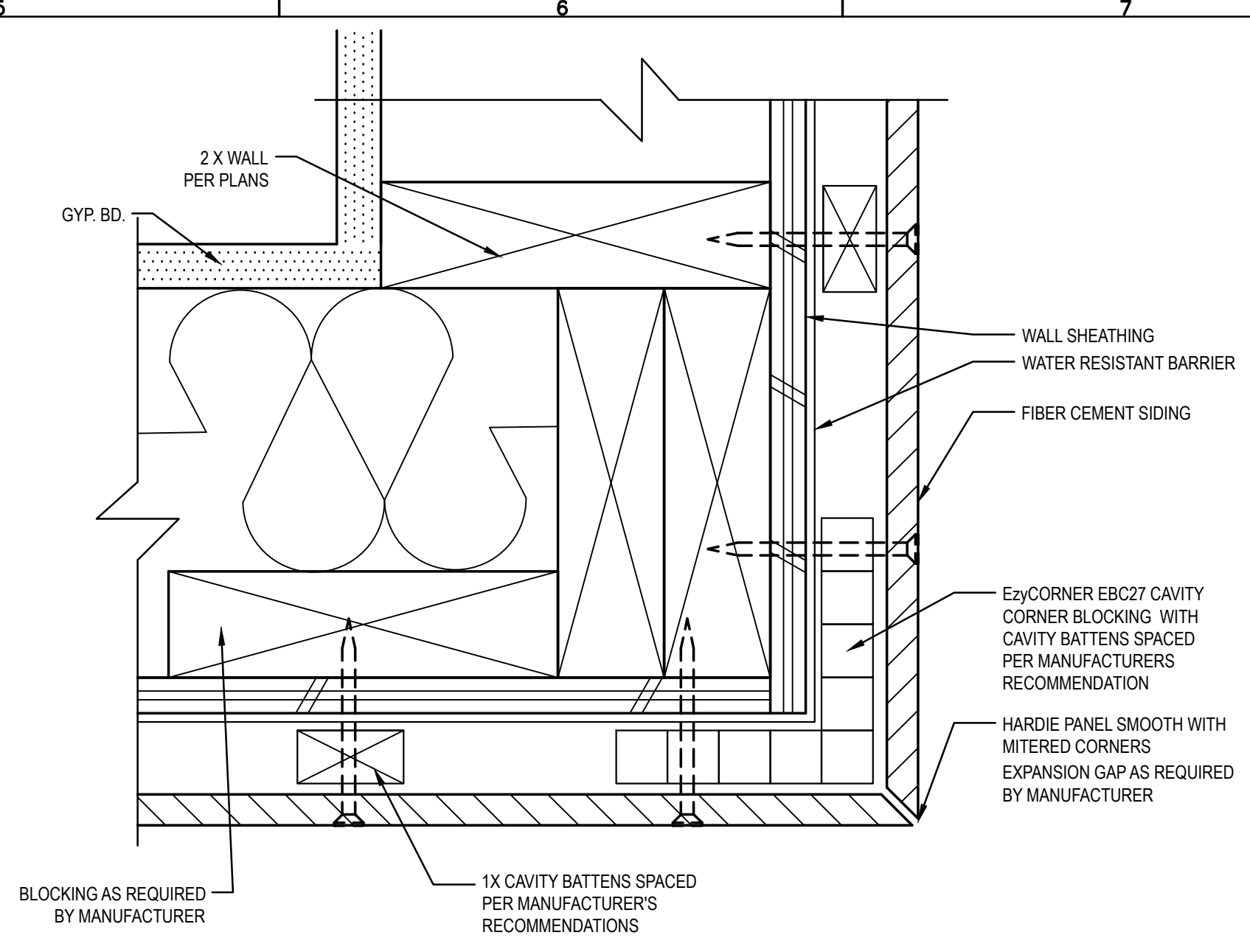
- WALL TYPE 1 - UL U39B/U341 1-HOUR RATED PARTITION WALL DOUBLE 2X4 STUDS @ 16" O.C. W/ 1" AIR GAP BETWEEN AND TWO LAYERS 5/8" TYPE "X" GYP. BOARD EACH SIDE TO TOP OF STRUCTURE. RE: PLANS
- WALL TYPE 2 - RATED PARTITION WALL DOUBLE 2X4 STUDS @ 16" O.C. W/ 1" AIR GAP BETWEEN AND 1" APA RATED SHEATHING OVER TWO LAYERS 5/8" TYPE "X" GYP. BOARD EACH SIDE TO TOP OF STRUCTURE. RE: PLANS
- WALL TYPE 3 EXTERIOR SIDING W/ 1/2" APA RATED SHEATHING OVER DOUBLE 2X4 STUDS @ 16" O.C.
- WALL TYPE 4 2X4 STUDS @ 16" O.C. W/ ONE LAYER 1/2" TYPE GYP. BOARD EACH SIDE TO 6" ABOVE ADJACENT CEILING. 2X6 STUDS @ 16" O.C. AT PLUMBING WALLS AND WHERE NOTED, RE: PLANS

KEY NOTES

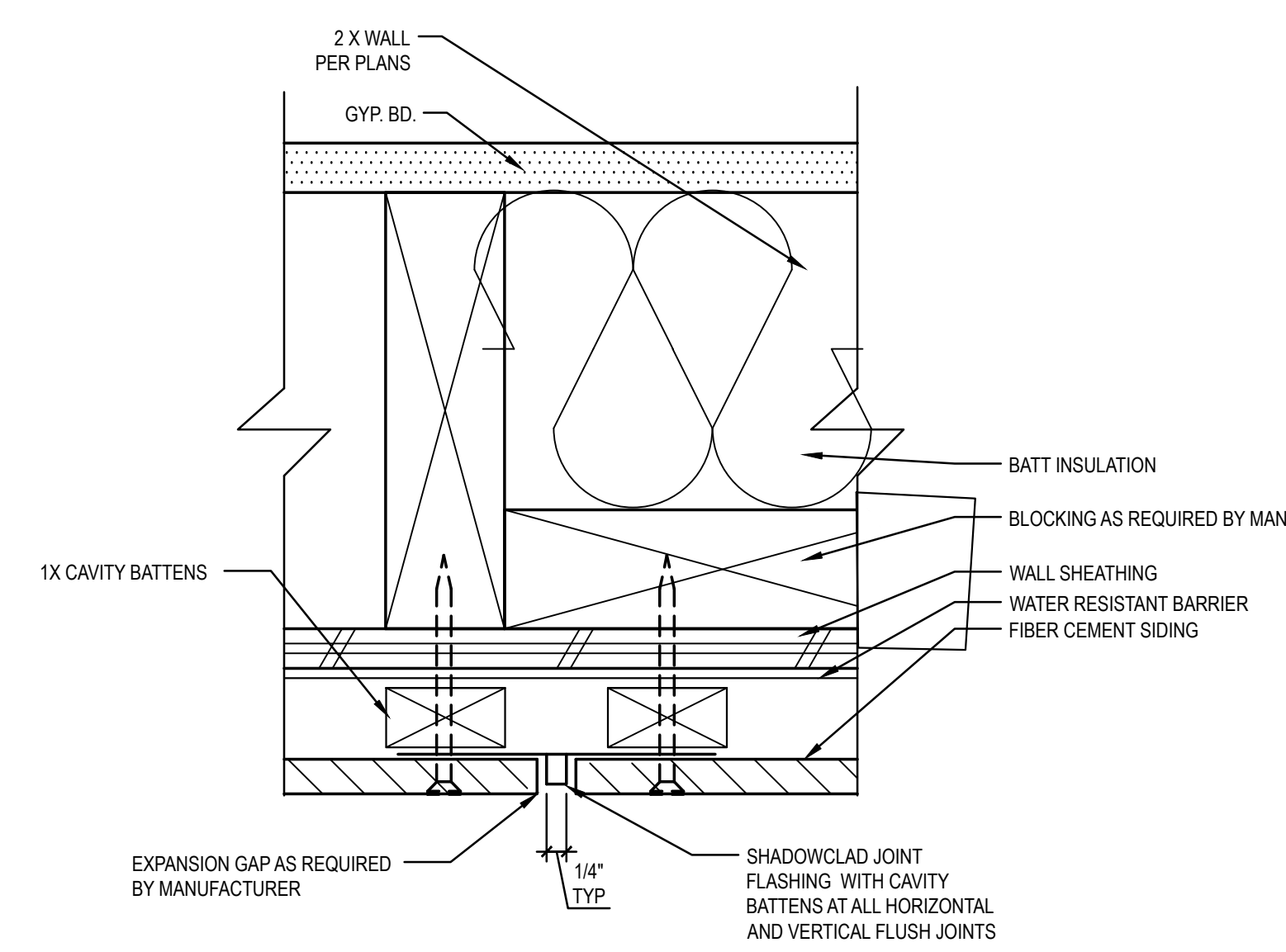
- 1 LINE OF FLOOR BELOW, RE: STRUCTURAL
- 2 LINE OF FLOOR ABOVE.
- 3 LINE OF SOFFIT ABOVE
- 4 42" HIGH GUARD RAIL RE: A1/A1.01
- 5 CONCRETE PAVING. SEE SITE PLAN.

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF PRIMARY STRUCTURAL COMPONENT (STUDS, CONCRETE OR STRUCTURAL GRID) FOR CONSTRUCTION ASSEMBLY UNLESS NOTED OTHERWISE.
2. SEE A6.01 FOR DOOR SCHEDULE.
3. SEE A6.01 FOR WINDOW, DOOR, AND FRAME TYPES.
4. SEE I - SERIES FOR FINISH PLANS AND SCHEDULES
5. CONTRACTOR SHALL VERIFY CONDITIONS AND REPORT ANY DISCREPANCIES WITH THE DRAWINGS TO THE ARCHITECT PRIOR TO THE BEGINNING OF WORK.
6. CONTRACTOR TO MAINTAIN BUILDING IN A WEATHER TIGHT CONDITION DURING INSTALLATION OF FINISH MATERIALS.
7. EXIT DOORS TO BE OPERABLE FROM INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE IN ACCORDANCE WITH IBC 2003.
8. CONTRACTOR TO COORDINATE WITH OWNER FOR LOCATION OF ALL SPECIAL EQUIPMENT AND SPECIAL POWER REQUIREMENTS.
9. ALL FIXTURES AND EQUIPMENT TO BE INSTALLED OR REINSTALLED, ARE TO BE SO IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS, ACCEPTED BUILDING STANDARDS AND ALL APPLICABLE BUILDING CODES.
10. DOORS TO BE INSTALLED 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.

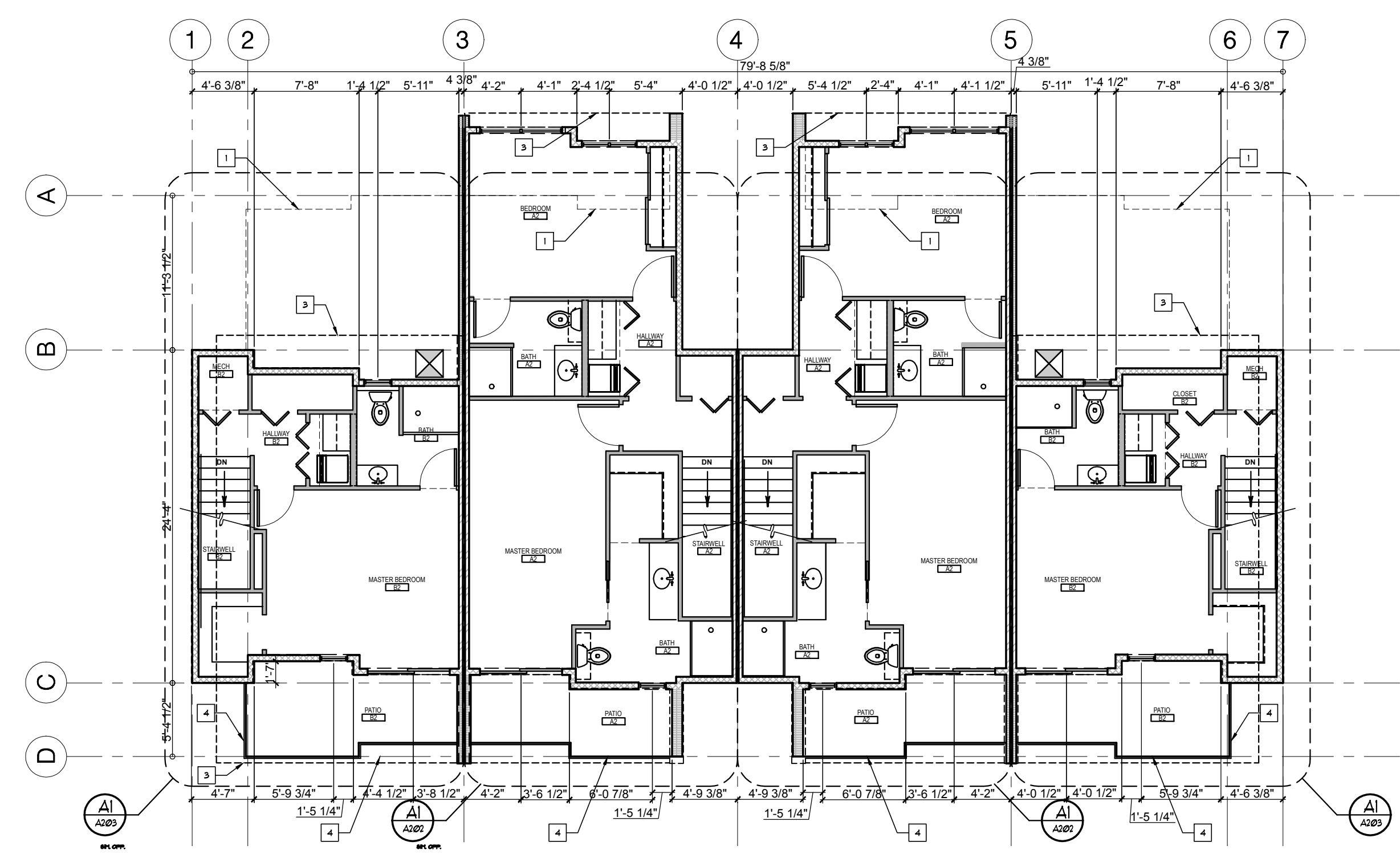


D6 SIDING DETAIL
SCALE: 6" = 1'-0"

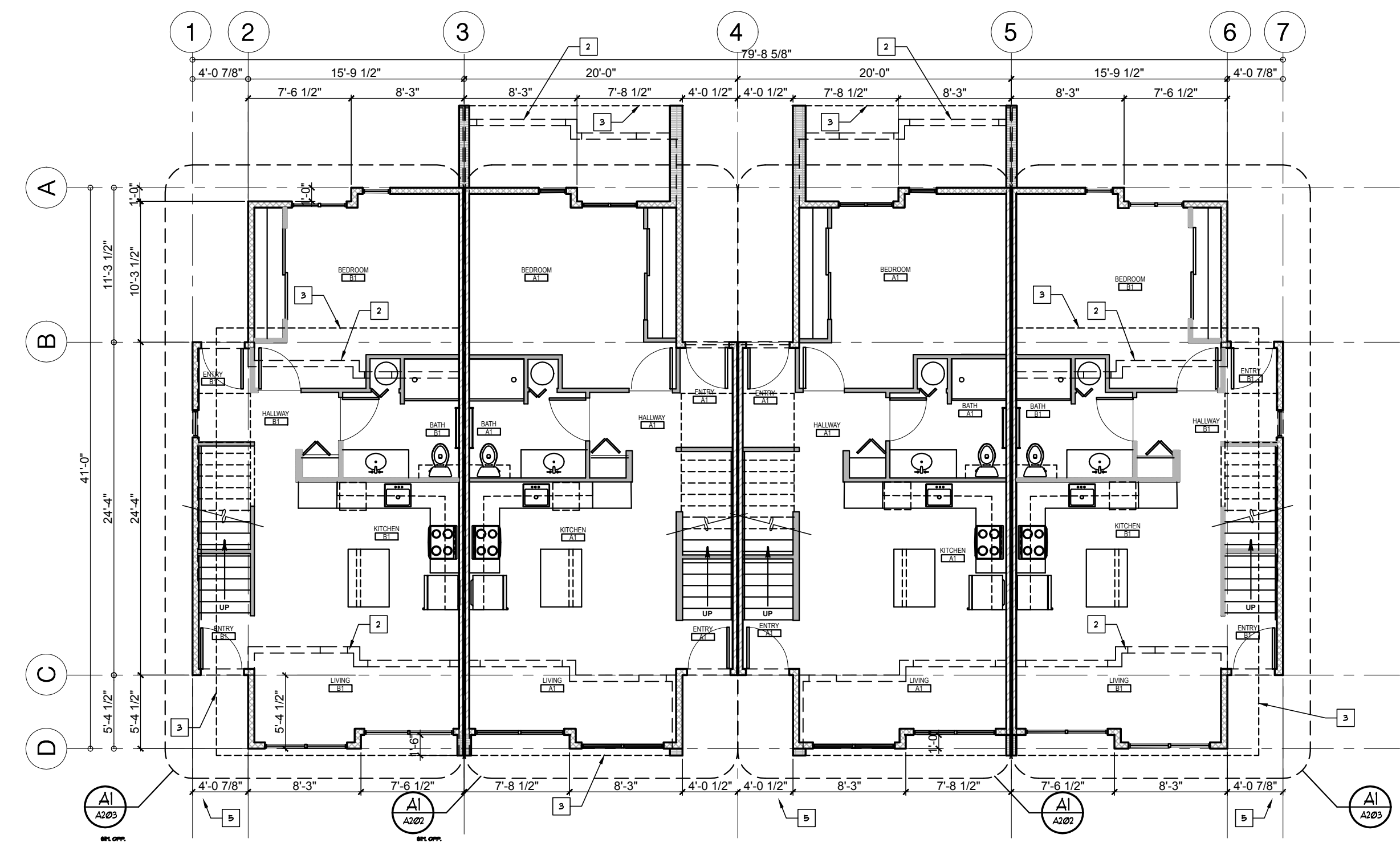


B6 SIDING DETAIL
SCALE: 1/8" = 1'-0"

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D1 SECOND OVERALL FLOOR PLAN
SCALE: 1/8" = 1'-0"



A1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

WALL TYPE SCHEDULE

- WALL TYPE 1 - UL US38A341 1-HOUR RATED PARTITION WALL DOUBLE 2X4 STUDS @ 16" O.C. W/ 1" AIR GAP BETWEEN AND TWO LAYERS 5/8" TYPE "X" GYP. BOARD EACH SIDE TO TOP OF STRUCTURE. RE: PLANS
- WALL TYPE 2 - RATED PARTITION WALL DOUBLE 2X4 STUDS @ 16" O.C. W/ 1" AIR GAP BETWEEN AND 1" APA RATED SHEATHING OVER TWO LAYERS 5/8" TYPE "X" GYP. BOARD EACH SIDE TO TOP OF STRUCTURE. RE: PLANS
- WALL TYPE 3 EXTERIOR SIDING W/ 1/2" APA RATED SHEATHING OVER DOUBLE 2X4 STUDS @ 16" O.C.
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GENERAL NOTES

1. ALL WORK SHALL BE PROVIDED AND INSTALLED AS A COMPLETE SYSTEM USING MATERIALS AND WORKSMANSHIP OF HIGH QUALITY.
2. ALL DIMENSIONS ARE TO FACE OF, OR CENTERLINE OF, PRIMARY STRUCTURAL COMPONENT OF CONSTRUCTION ASSEMBLY, AS SHOWN ON THE DRAWINGS, UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO WORK AND NOTIFY ARCHITECT OF ANY DIMENSION REVISIONS.
4. WHERE ITEMS ARE NOT SPECIFIED, BUILDING STANDARDS SHALL BE MAINTAINED.
5. ALL DOOR FRAMES SHALL BE 4" FROM PERPENDICULAR WALL AT HINGE SIDE UNLESS NOTED OTHERWISE.
6. PROVIDE METAL TRANSITION STRIP AT ALL FLOORING TRANSITIONS.
7. REFER TO SHEETS A-3.1A, A-3.2A, AND A-3.3A FOR OVERALL BUILDING PLANS.
8. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
9. PROVIDE 3-1/2" THICK UNFACED BATT INSULATION IN BATHROOM WALLS.
10. PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF STUD WALLS AT THE CEILING AND FLOOR LEVELS AND AT 10'-0" INTERVALS BOTH HORIZONTALLY AND VERTICALLY.
11. PROVIDE FIRE BLOCKING IN CONCEALED SPACES BETWEEN OPENINGS AROUND VENTS, FIRES, DUCTS, ETC. THAT MAY AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS.
12. PROVIDE BACKING IN WALLS FOR MOUNTED ITEMS.
13. FIRE STOP AND PENETRATION DETAILS, SEE A121 AND P5.00

KEYED NOTES

- 1 2X6 FRAMING @ 16" O.C. TYPICAL @ EXTERIOR WALLS.
- 2 2X4 FRAMING @ 16" O.C. TYPICAL @ INTERIOR WALLS UNDO. RE: STRUCTURAL FOR LOAD BEARING LOCATIONS
- 3 LINE OF STRUCTURE ABOVE.
- 4 LINE OF 2X4 WALL BELOW COUNTER
- 5 FLOORING TYPE TRANSITION.
- 6 WATER HEATER. RE: PLUMBING
- 7 COUNTER SET SINK. RE: PLUMBING
- 8 WATER CLOSET. RE: PLUMBING
- 9 SHOWER WITH THE FOLLOWING: 36"X48" SWANSTONE SHOWER SURROUND (#32 IVORY GLASS) SWANSTONE SHOWER BASE (#24 CANYON) FRAMELESS HINGED GLASS SHOWER DOOR WITH POLISHED CHROME HARDWARE.
- 10 PARTITION WALL AT PLANT SHELF.
- 11 ROD AND SHELF. RE: A12/A5.10
- 12 COUNTER SET SINK W/ DISPOSAL. RE: PLUMBING
- 13 RANGE WITH MICROWAVE HOOD
- 14 REFRIGERATOR
- 15 UNDER-COUNTER DISH WASHER
- 16 42" HIGH GUARDRAIL AT SECOND LEVEL RE: ELEVATIONS AND DETAILS
- 17 STACKABLE WASHER/DRYER UNIT.
- 18 HANDRAIL AT 34"-36" AFF. SLOPE TO FOLLOW STAIR. SEE A1A/1A1
- 19 WASHER/DRYER HOOKUP. RE: ELECTRICAL & PLUMBING
- 20 INSTALL (5) 24" DEEP WIRE OR MELAMINE SHELVES WITH EDGE TRIM.
- 21 ELECTRICAL PANEL. RE: ELECTRICAL DRAWINGS
- 22 SLOPE EXTERIOR PATIO SUBSTRATE FOR POSITIVE DRAINAGE AWAY FROM WALL FLASHING.
- 23 TOILET ACCESSORIES - TAYMOR ZURICH WITH US26D FINISH. PROVIDE BLOCKING AS REQUIRED. 24" TOILET BAR - TOSBE ROK - PAPER HOLDER
- 24 WINDOW TREATMENT: 2" METAL VENETIAN BLINDS. COLOR AND MODEL SELECTED BY OWNER
- 25 CASEWORK. RE: A5.01 INTERIOR ELEVATIONS AND CASEWORK DETAILS. AND A6.01 FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- 26 LINE OF STAIRS ABOVE
- 27 CONDENSING UNIT ON ROOF. SEE MECHANICAL.
- 28 LINE OF FLOOR BELOW.

RC PLAN KEYED NOTES

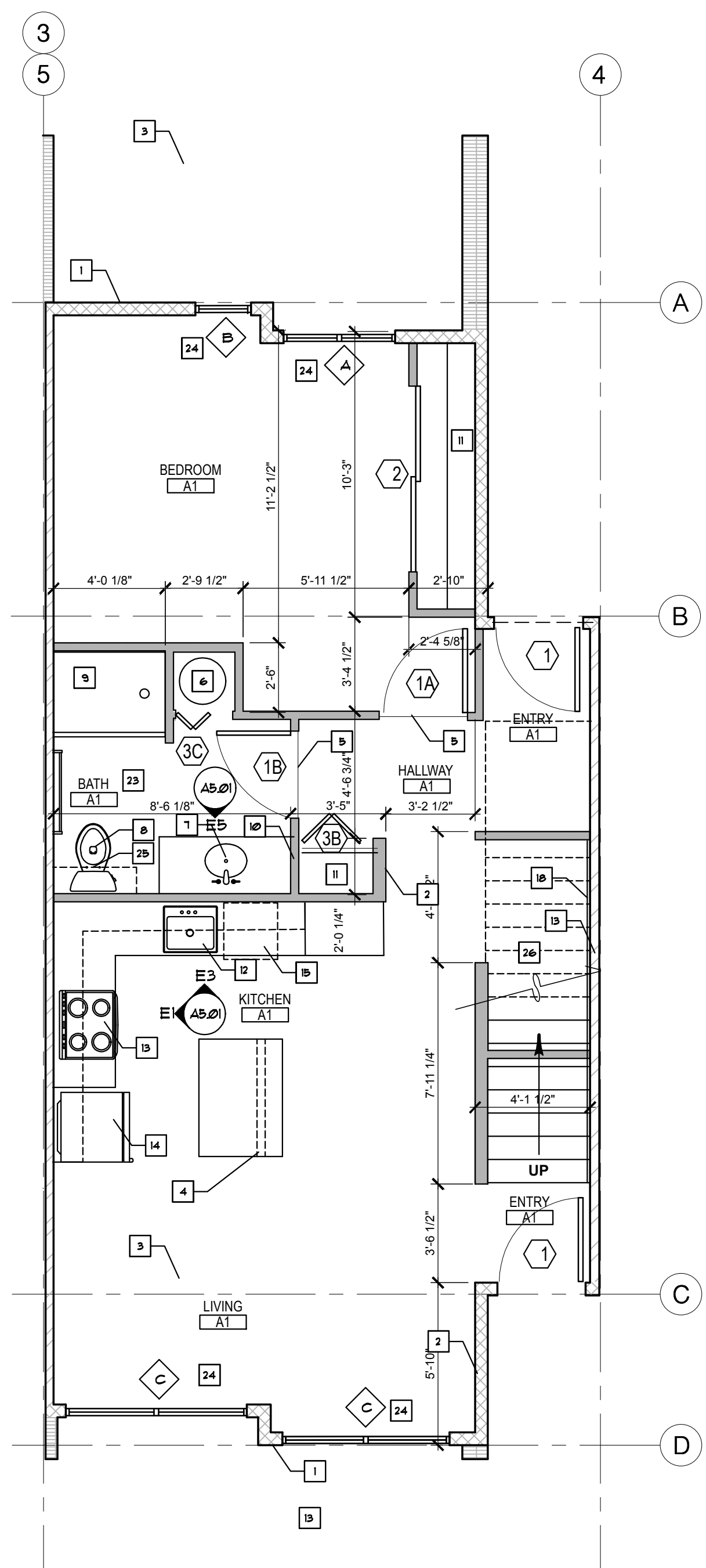
- 1 FURRING OVER CABINETRY W/ 1/2" GYP. BRD. SEE BUILDING AND WALL SECTIONS.
- 2 (1) LAYER 1/2" GYP. BRD. CEILING AT 8'-0" AFF. ON FURRING. SEE BUILDING AND WALL SECTIONS FOR FIRE RATED ASSEMBLIES.
- 3 1/2" GYP. BRD. ENCLOSURE AT HVAC DUCT AND SOFFITS. RE: MECHANICAL DRAWINGS.
- 4 PERFORATED PREFINISHED METAL SOFFIT PANEL. SLIPPED UNDER METAL FABRIC.
- 5 PREFINISHED METAL GUTTER. SEE ALSO ROOF PLAN AND EXTERIOR ELEVATIONS
- 6 OUTLINE OF STRUCTURE ABOVE.
- 7 PARTITION WALL AT PLANT SHELF
- 8 NOT USED

RC PLAN LEGEND

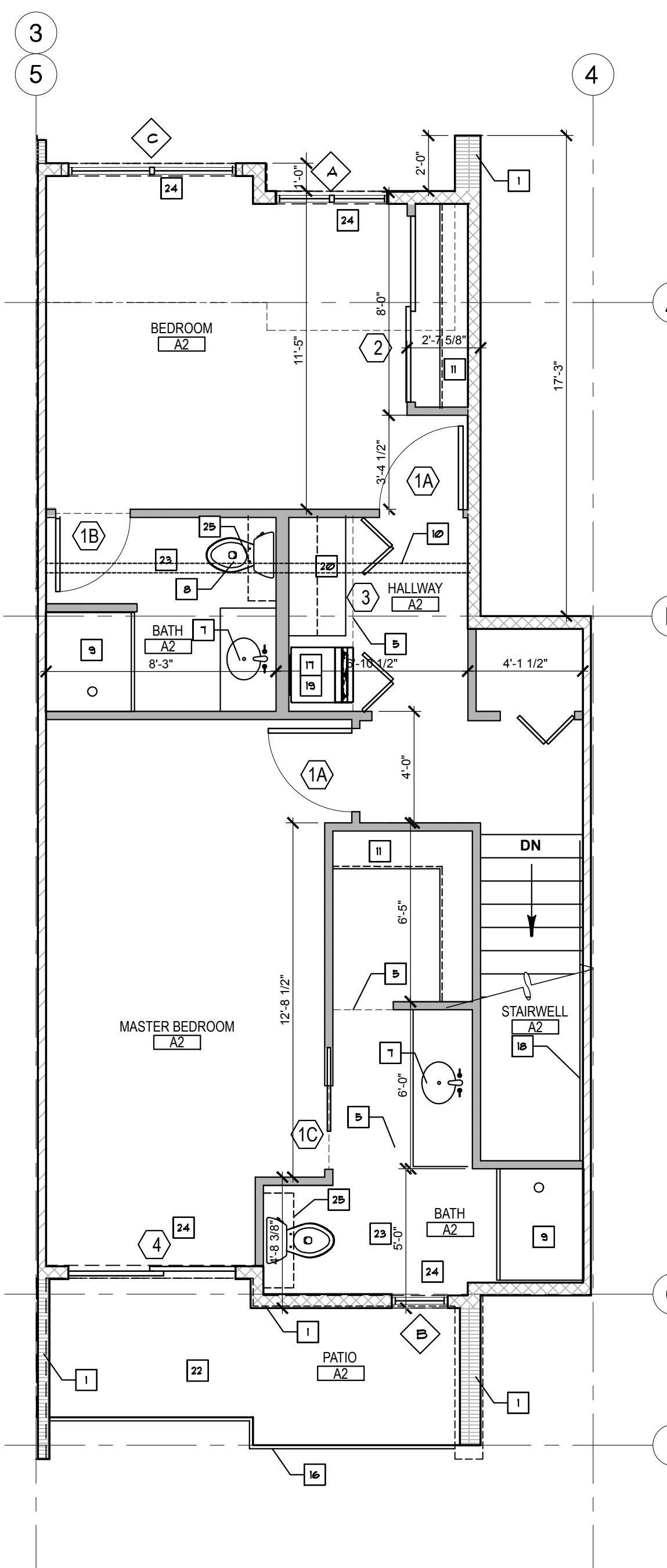
- 1/2" GYP. BRD. SOFFIT AT 7'-2" ATTACHED TO B.O. FRAMING.
- 1/2" GYP. BRD. FURRED BELOW SUSPENDED CEILING AT 8'-0" AFF. ATTACHED TO TRACK FRAMING. PROVIDE RECESSES IN LOCATIONS AS SHOWN ON PLAN.
- WHERE NO CLNG. PATTERN IS SHOWN: (1) LAYER 1/2" GYP. BRD. ATTACHED TO B.O. STRUCTURAL JOISTS OR TRUSSES.
- INCADESCENT
- 4" WALL MOUNTED FIXTURE
- 2" WALL MOUNTED FIXTURE
- SCONCE
- SUPPLY REGISTER
- RETURN AIR GRILLE
- EXHAUST
- CEILING FAN

CITY REVIEW

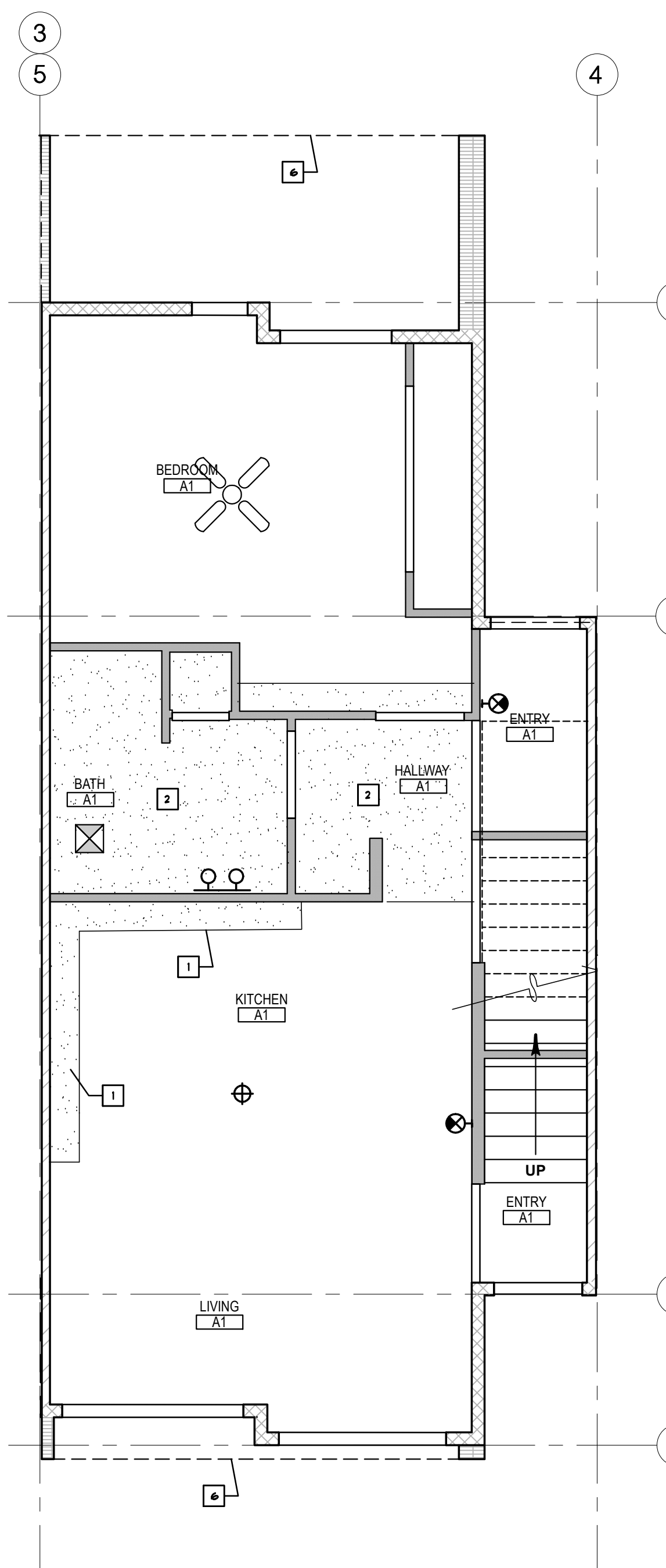
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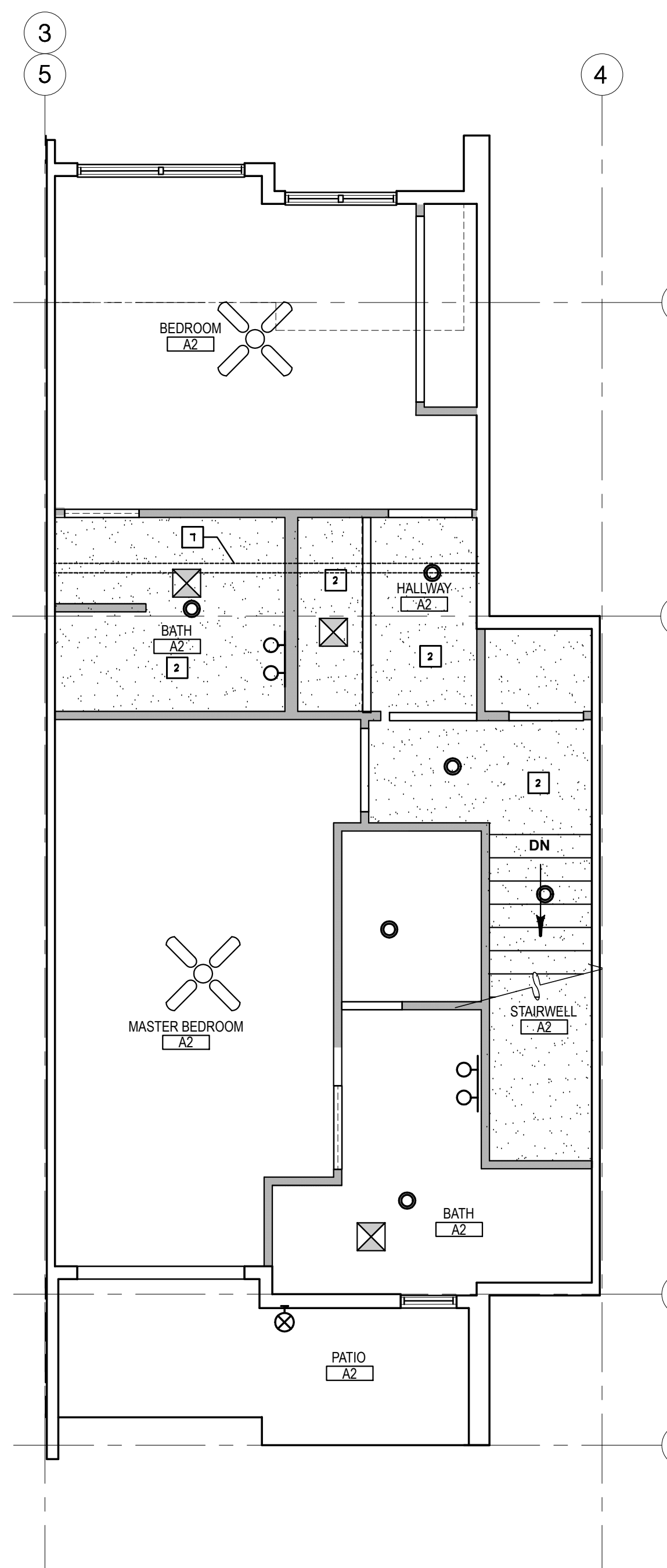
A1 UNIT A - FIRST FLOOR
SCALE: 1/4" = 1'-0"



A3 UNIT A - SECOND FLOOR
SCALE: 1/4" = 1'-0"



A5 UNIT A - 1ST FLOOR RC
SCALE: 1/4" = 1'-0"



A7 UNIT A - 2ND FLOOR RC
SCALE: 1/4" = 1'-0"



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NEW DEVELOPMENT
THE 27 ELM
A HUNTER RENAISSANCE DEVELOPMENT
REDMOND OREGON



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FLOOR PLANS
Sheet Title
AS NOTED
Scale
1602
Project Number
NOVEMBER 8, 2016
Date
1602SHEETSET.DWG
File Name

Revisions
A2.02

WALL TYPE SCHEDULE

- WALL TYPE 1 - UL I339/A341 1-HOUR RATED PARTITION WALL, DOUBLE 2X4 STUDS @ 16" O.C. W/ 1" AIR GAP BETWEEN AND TWO LAYERS 5/8" TYPE 'X' GYP. BOARD EACH SIDE TO TOP OF STRUCTURE. RE: PLANS
- WALL TYPE 2 - RATED PARTITION WALL, DOUBLE 2X4 STUDS @ 16" O.C. W/ 1" AIR GAP BETWEEN AND 5/8" APA RATED SHEATHING OVER TWO LAYERS 5/8" TYPE 'X' GYP. BOARD EACH SIDE TO TOP OF STRUCTURE. RE: PLANS
- WALL TYPE 3 - EXTERIOR SIDING W/ 1/2" APA RATED SHEATHING OVER DOUBLE 2X4 STUDS @ 16" O.C.
- WALL TYPE 4 - 2X4 STUDS @ 16" O.C. W/ ONE LAYER 1/2" TYPE GYP. BOARD EACH SIDE TO 6" ABOVE ADJACENT CEILING. 2X6 STUDS @ 16" O.C. AT PLUMBING WALLS AND WHERE NOTED, RE: PLANS

GENERAL NOTES

1. ALL WORK SHALL BE PROVIDED AND INSTALLED AS A COMPLETE SYSTEM USING MATERIALS AND WORKMANSHIP OF HIGH QUALITY.
2. ALL DIMENSIONS ARE TO FACE OF, OR CENTERLINE OF PRIMARY STRUCTURAL COMPONENT OF CONSTRUCTION ASSEMBLY, AS SHOWN ON THE DRAWINGS, UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO WORK AND NOTIFY ARCHITECT OF ANY DIMENSION REVISIONS.
4. WHERE ITEMS ARE NOT SPECIFIED, BUILDING STANDARDS SHALL BE MAINTAINED.
5. ALL DOOR FRAMES SHALL BE 4" FROM PERPENDICULAR WALL AT HINGE SIDE UNLESS NOTED OTHERWISE.
6. PROVIDE METAL TRANSITION STRIP AT ALL FLOORING TRANSITIONS.
 1. REFER TO SHEETS A-31A, A-32A, AND A-33A FOR OVERALL BUILDING PLANS.
 2. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
7. PROVIDE 3-1/2" THICK UNFACED BATT INSULATION IN BATHROOM WALLS.
8. PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF STUD WALLS AT THE CEILING AND FLOOR LEVELS AND AT 10'-0" INTERVALS BOTH HORIZONTALLY AND VERTICALLY.
9. PROVIDE FIRE BLOCKING IN CONCEALED SPACES BETWEEN OPENINGS AROUND VENTS, PIPES, DUCTS, ETC. THAT MAY AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS.
10. PROVIDE BACKING IN WALLS FOR WALL MOUNTED ITEMS.
11. FIRE STOP AND PENETRATION DETAILS, SEE A121 AND P5-00

KEYED NOTES

- 1 2x6 FRAMING @ 16" O.C. TYPICAL # EXTERIOR WALLS.
- 2 2x4 FRAMING @ 16" O.C. TYPICAL # INTERIOR WALLS, UNO. RE: STRUCTURAL FOR LOAD BEARING LOCATIONS
- 3 LINE OF STRUCTURE ABOVE.
- 4 LINE OF 2X4 WALL BELOW COUNTER
- 5 FLOORING TYPE TRANSITION.
- 6 WATER HEATER, RE: PLUMBING
- 7 COUNTER SET SINK, RE: PLUMBING
- 8 WATER CLOSET, RE: PLUMBING
- 9 SHOWER WITH THE FOLLOWING:
 - 36"X48" QUARTZITE SHOWER SURROUND (52 IVORY GLASS)
 - QUARTZITE SHOWER BASE (124 CANYON)
 - FRAMINGLESS HINGED GLASS SHOWER DOOR WITH POLISHED CHROME HANDBARS.
- 10 PARTITION WALL AT PLANT SHELF.
- 11 ROD AND SHELF, RE: A121/A510
- 12 COUNTER SET SINK W/ DISPOSAL, RE: PLUMBING
- 13 RANGE WITH MICROWAVE HOOD
- 14 REFRIGERATOR
- 15 UNDER-COUNTER DISH WASHER
- 16 42" HIGH GUARDRAIL AT SECOND LEVEL, RE: ELEVATIONS AND DETAILS
- 17 STACKABLE WASHER/DRYER UNIT.
- 18 HANDRAIL AT 34"-36" AFF. SLOPE TO FOLLOW STAIR. SEE A17/A181
- 19 WASHER/DRYER HOOKUP, RE: ELECTRICAL & PLUMBING
- 20 INSTALL (5) 24" DEEP WIRE OR MELAMINE SHELVES WITH EDGE TRIM.
- 21 ELECTRICAL PANEL, RE: ELECTRICAL DRAWINGS
- 22 SLOPE EXTERIOR PATIO SUBSTRATE FOR POSITIVE DRAINAGE AWAY FROM WALL, PLUMBING
- 23 TOILET ACCESSORIES: TAYLOR ZURICH WITH US26D FINISH, PROVIDE BLOCKING AS REQUIRED.
 - 24 TOILET BAR
 - 25 TOILET RING
 - 26 TOILET HOOK
 - 27 PAPER HOLDER
- 24 WINDOW TREATMENT, 2" METAL VENETIAN BLINDS. COLOR AND MODEL SELECTED BY OWNER
- 25 CASEWORK, RE: A5.01 INTERIOR ELEVATIONS, A5.11 CASEWORK DETAILS, AND A5.01 FINISH SCHEDULE FOR ADDITIONAL INFORMATION
- 26 LINE OF STAIRS ABOVE
- 27 CONDENSING UNIT ON ROOF. SEE MECHANICAL.
- 28 LINE OF FLOOR BELOW

RC PLAN KEYED NOTES

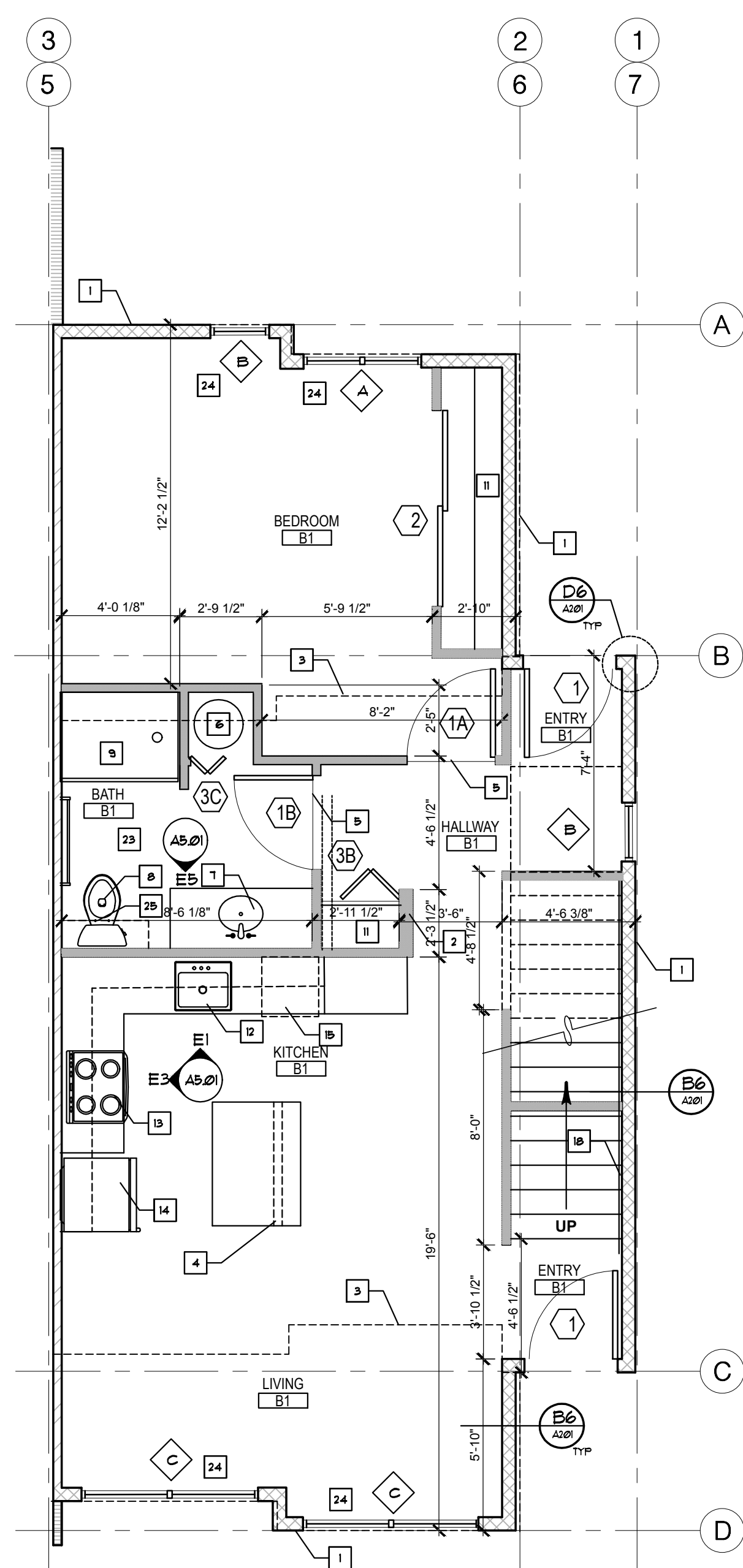
- 1 FURRING OVER CABINETRY W/ 1/2" GYP. BRD. SEE BUILDING AND WALL SECTIONS.
- 2 (1) LAYER 1/2" GYP. BRD. CEILING AT 8'-0" AFF. ON FURRING. SEE BUILDING AND WALL SECTIONS FOR FIRE RATED ASSEMBLIES.
- 3 1/2" GYP. BRD. ENCLOSURE AT HVAC DUCT AND SOFFITS, RE: MECHANICAL DRAWINGS.
- 4 PERFORATED PREFINISHED METAL SOFFIT PANEL SLIPPED UNDER METAL FASCIA.
- 5 PREFINISHED METAL GUTTER. SEE ALSO ROOF PLAN AND EXTERIOR ELEVATIONS
- 6 OUTLINE OF STRUCTURE ABOVE.
- 7 PARTITION WALL AT PLANT SHELF
- 8 NOT USED

RC PLAN LEGEND

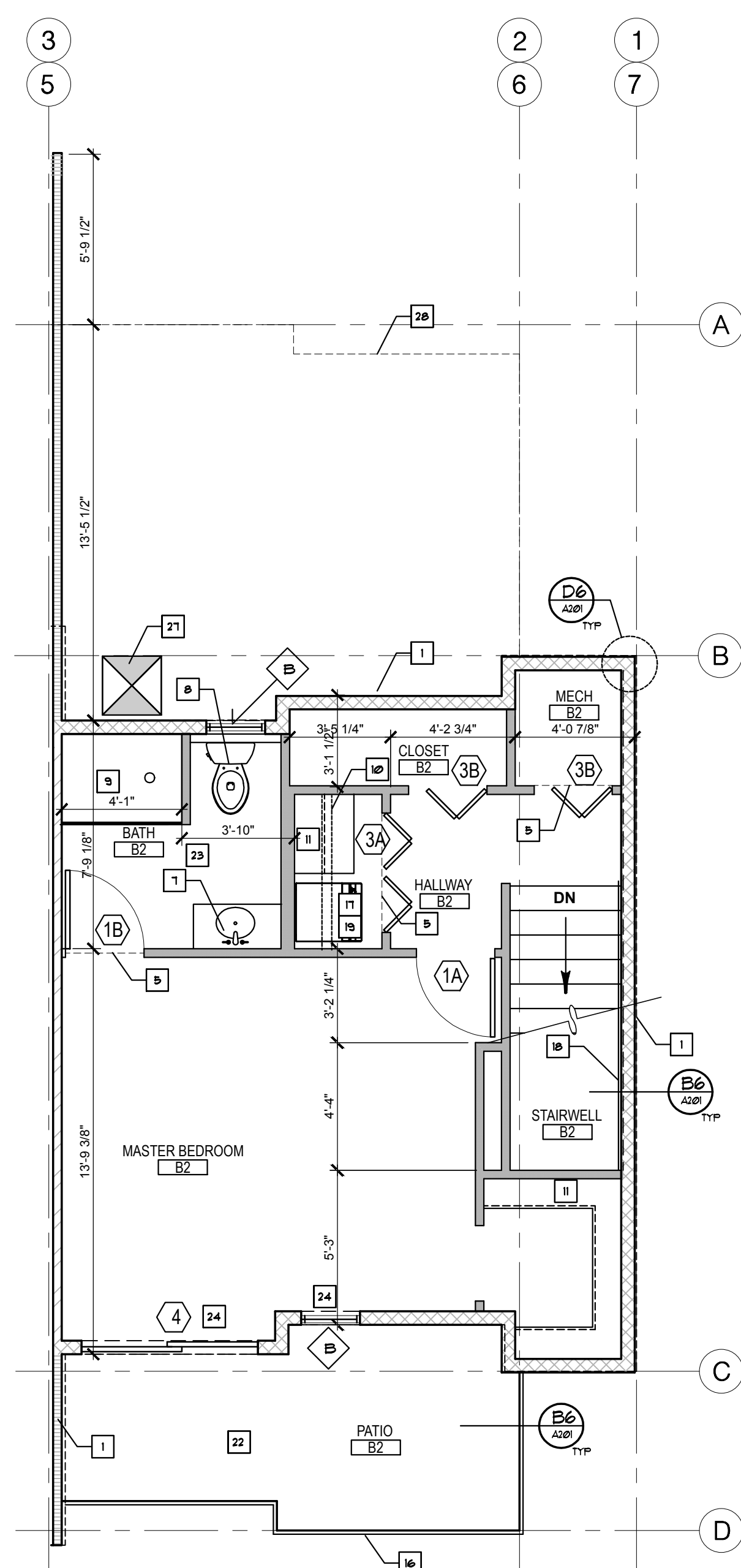
- 1/2" GYP. BRD. SOFFIT AT 7'-2" ATTACHED TO B.O. FRAMING
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- WHERE NO CLNG PATTERN IS SHOWN: (1) LAYER 1/2" GYP. BRD. ATTACHED TO B.O. STRUCTURAL JOISTS OR TRUSSES.
- SUPPLY REGISTER
- RETURN AIR GRILLE
- EXHAUST
- CEILING FAN
- INCANDESCENT
- 4" WALL MOUNTED FIXTURE
- 2" WALL MOUNTED FIXTURE
- 6" CONCEAL

CITY REVIEW

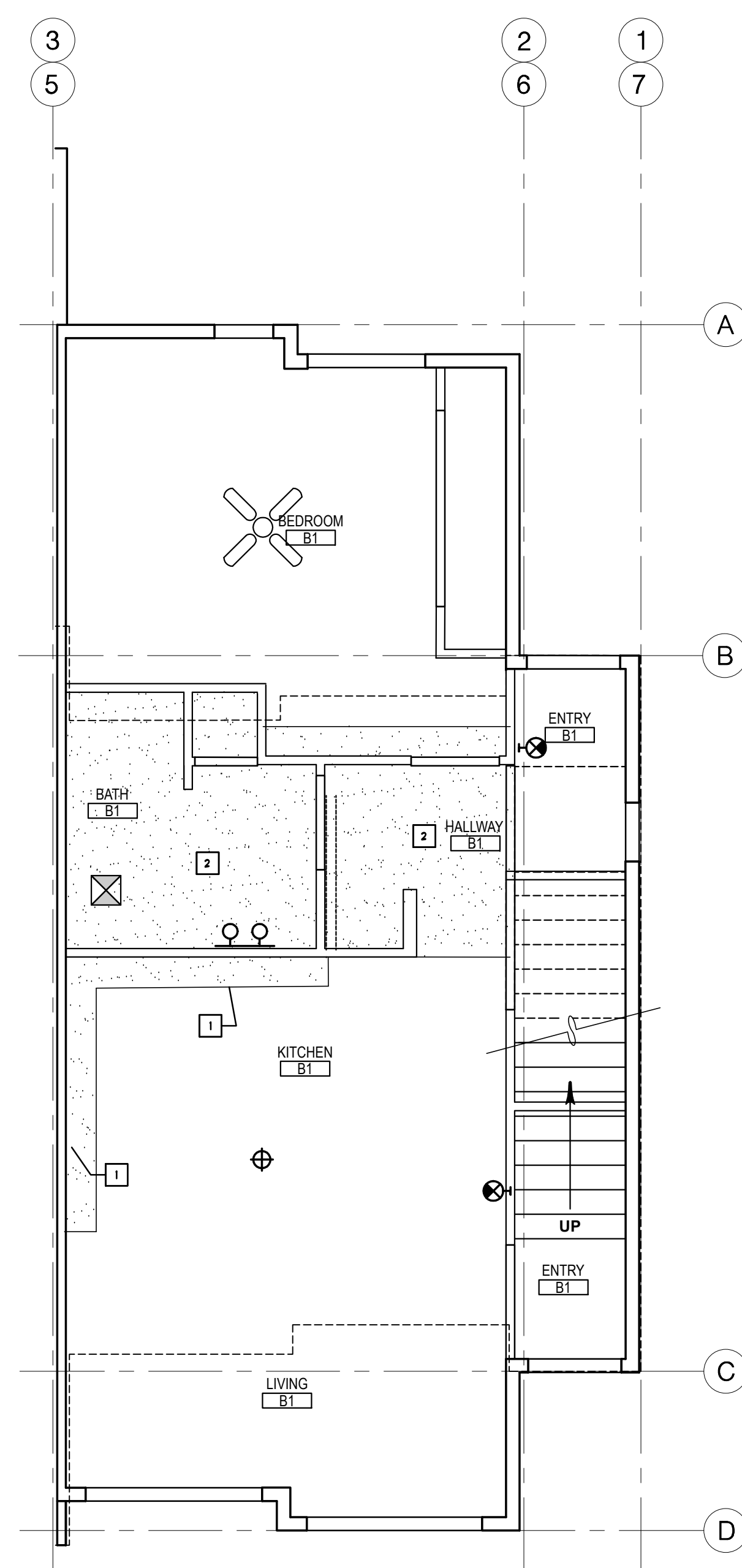
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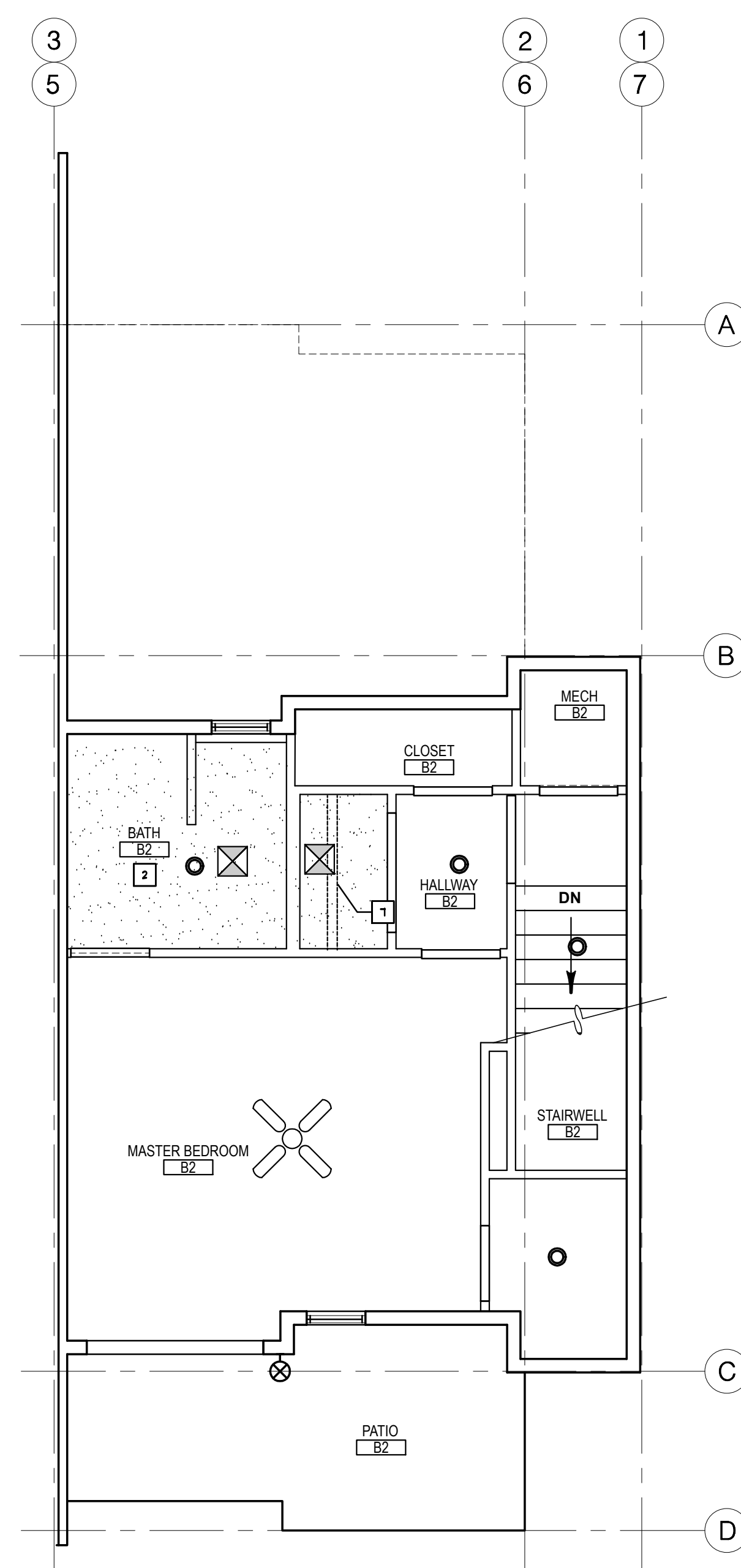
A1 UNIT B - FIRST FLOOR
SCALE: 1/4" = 1'-0"



A3 UNIT B - SECOND FLOOR
SCALE: 1/4" = 1'-0"



A5 UNIT B - 1ST FLOOR RC
SCALE: 1/4" = 1'-0"

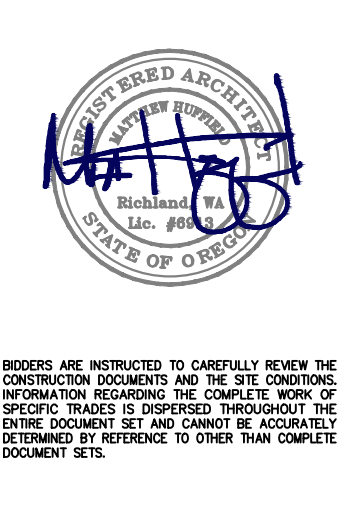


A7 UNIT B - 2ND FLOOR RC
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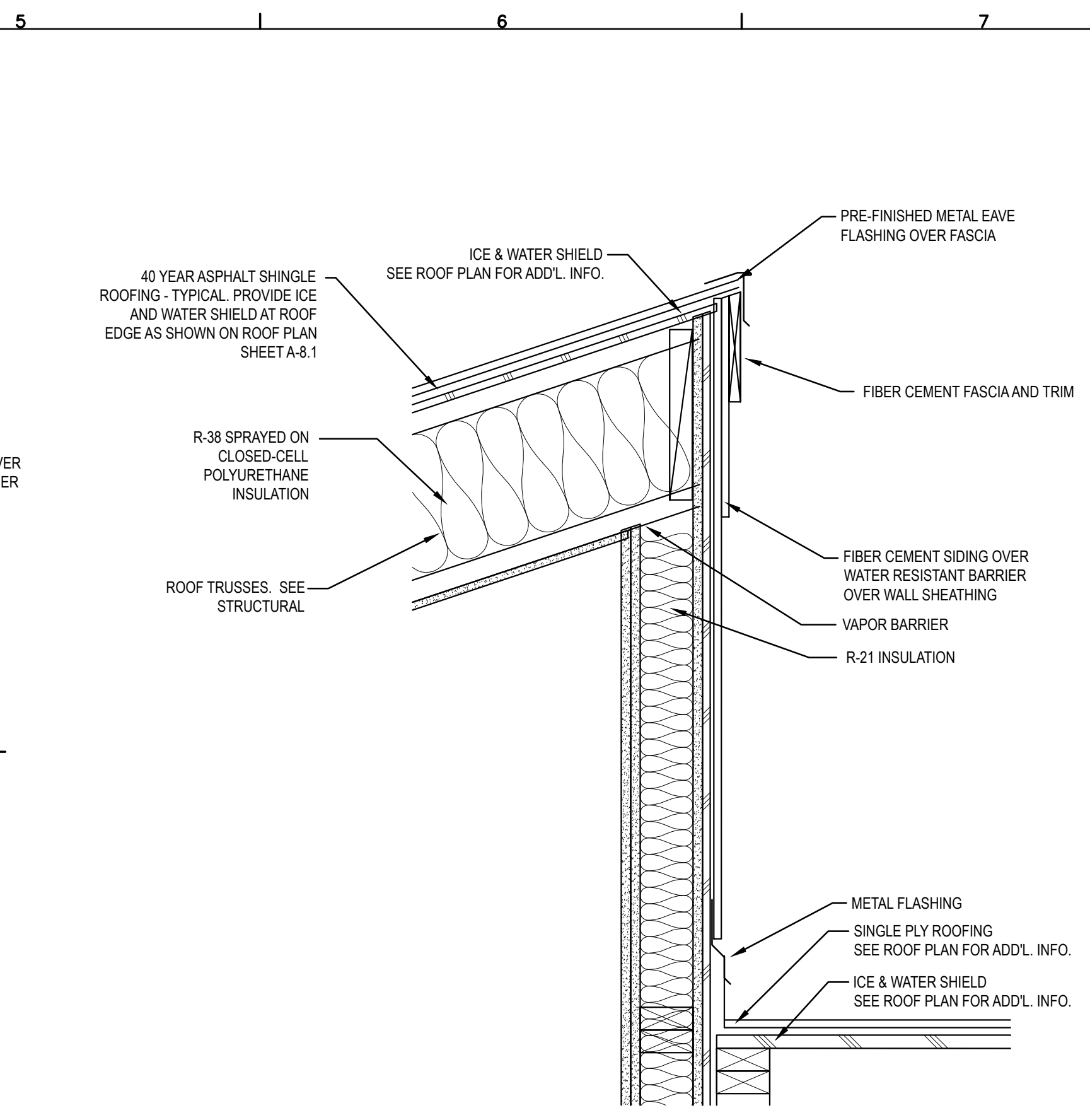
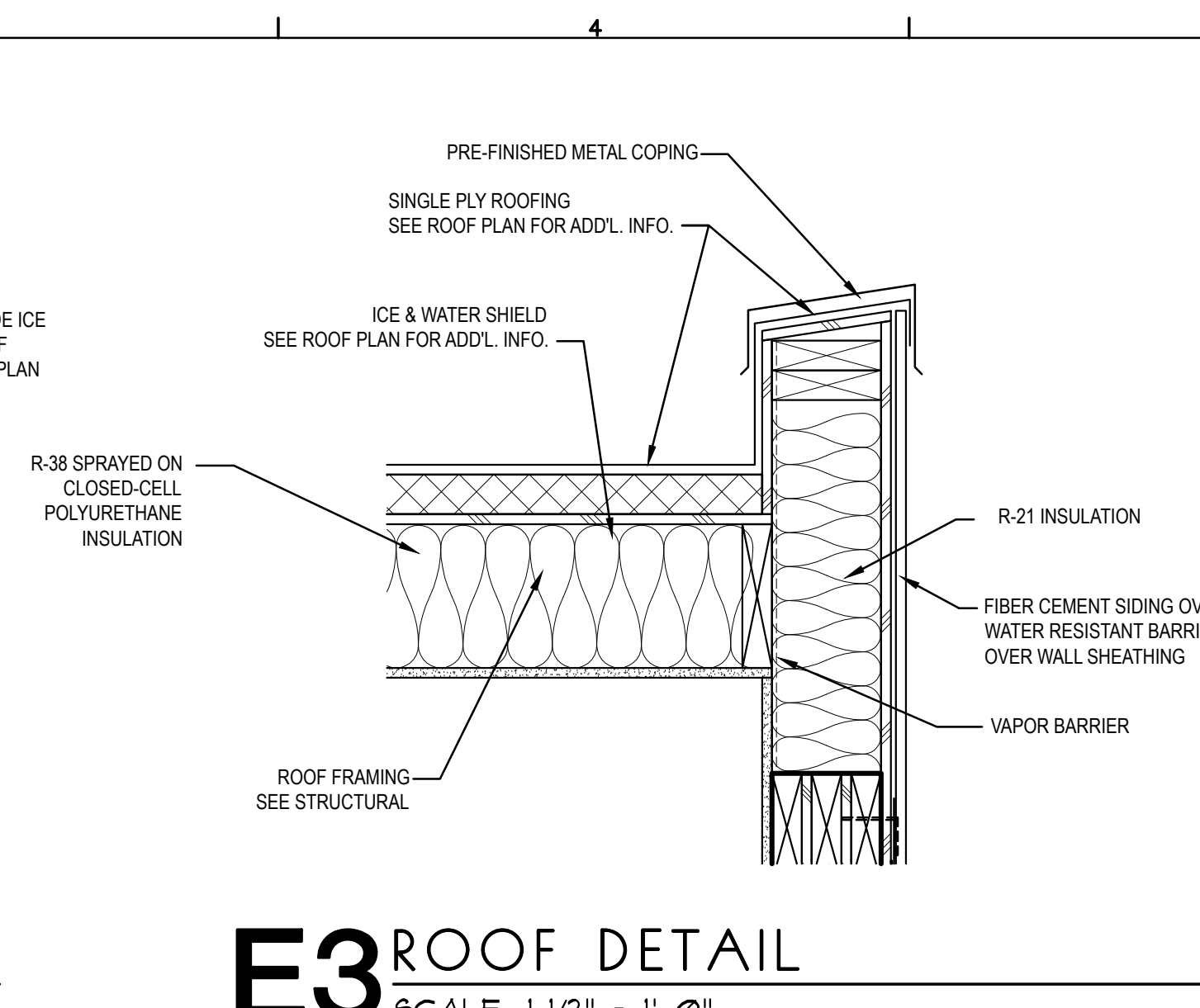
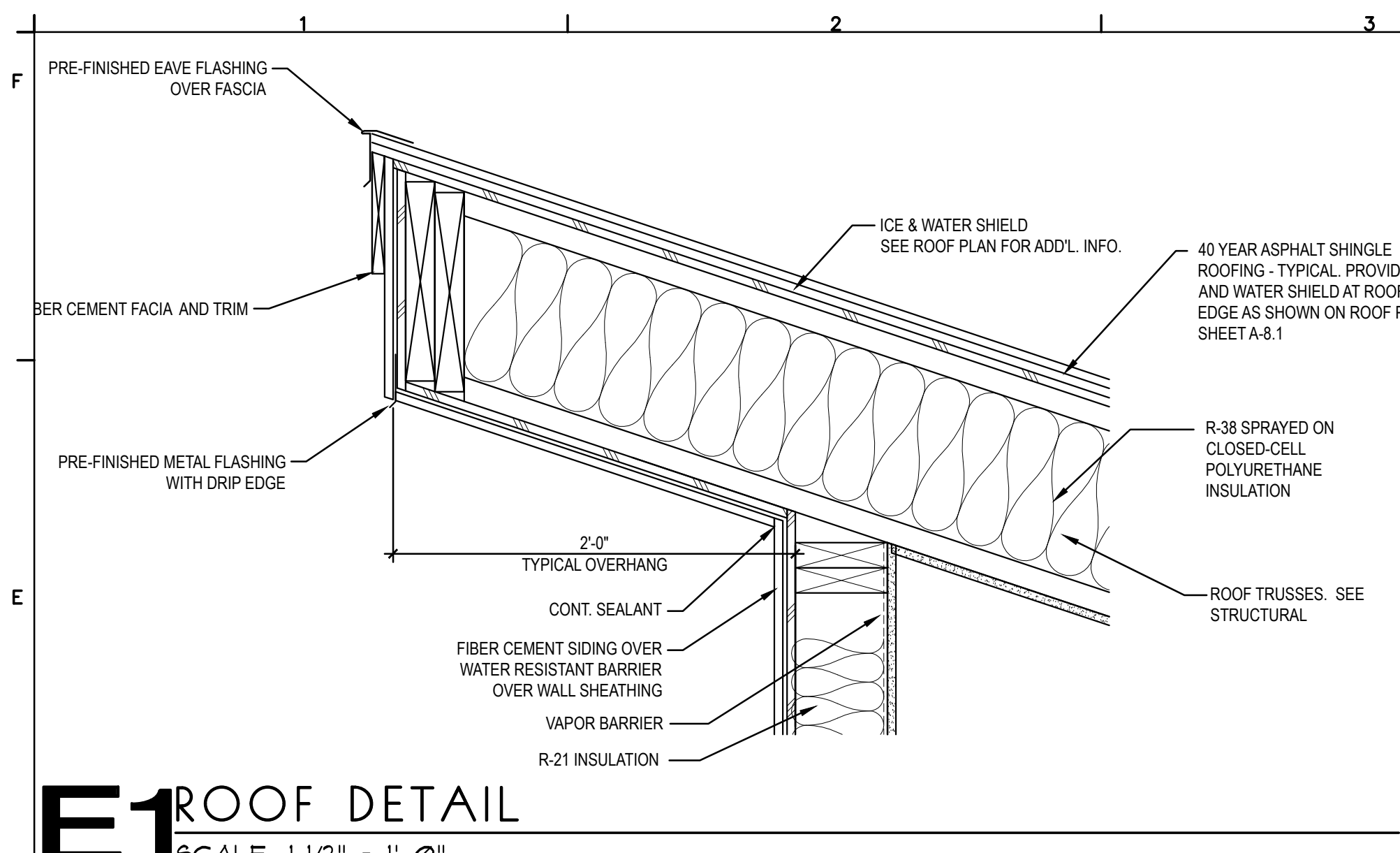
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NEW DEVELOPMENT
THE 27 ELM
 A HUNTER RENAISSANCE DEVELOPMENT
 REDMOND, OREGON



FLOOR PLANS
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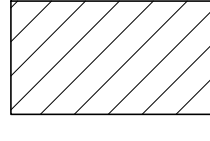
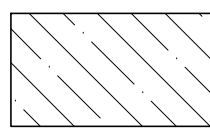
Revisions
A2.03



KEY NOTES

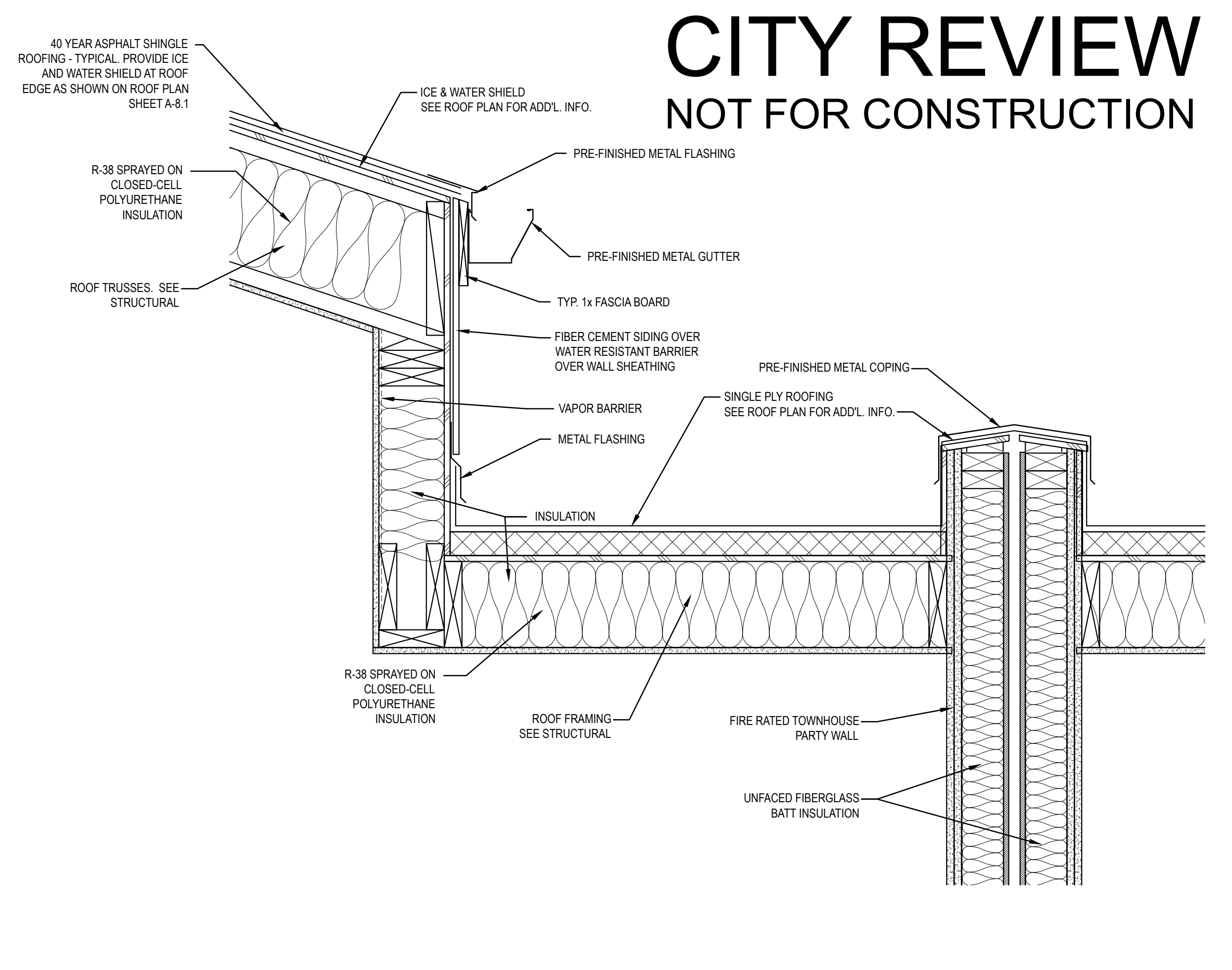
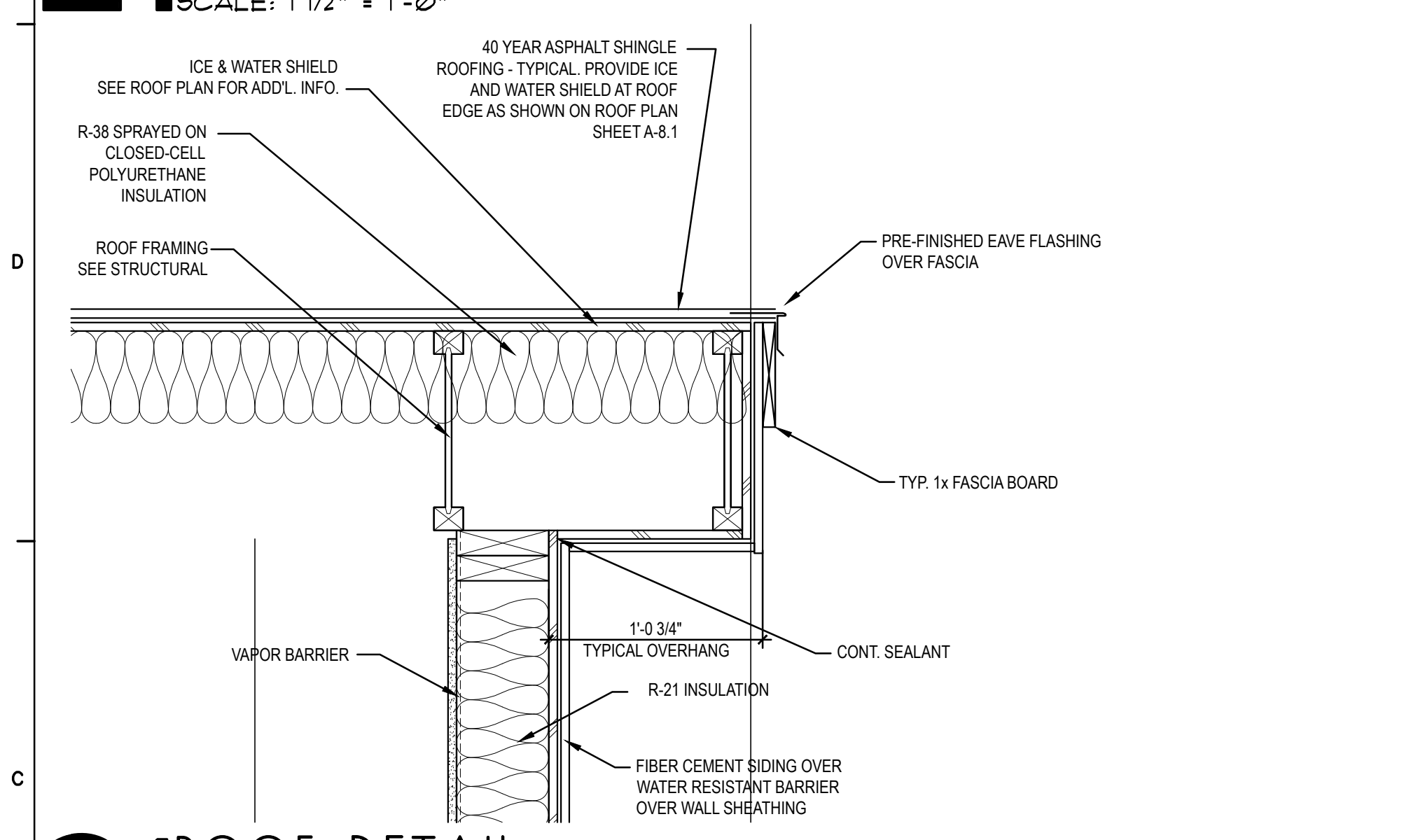
- 1 ARCHITECTURAL ASPHALT SHINGLES.
- 2 DASHED LINE INDICATES EXTERIOR WALL, BELOW
- 3 VENT RIBER THRU ROOF, RE: PLUMBING.
- 4 GUTTER AND DOWNSPOUTS W/ SPLASHBLOCKS
- 5 SCUPPER AND DOWNSPOUT WITH SPLASHBLOCKS
- 6 FIRE RATED PLYWOOD, 48" MIN. FROM FIRE RATED PARTITION WALL.
- 7 THERMOPLASTIC SINGLE-PLY ROOFING TO BE FIRESTONE ULTRAPLY PRO ROOF SYSTEM WITH 20-YEAR WARRANTY OR APPROVED EQUAL OVER TAPERED INSULATION.
- 8 MECHANICAL CONDENSING UNIT, PROVIDE ROOF CURB AS RECOMMENDED BY ROOFING MANUFACTURER.

LEGEND

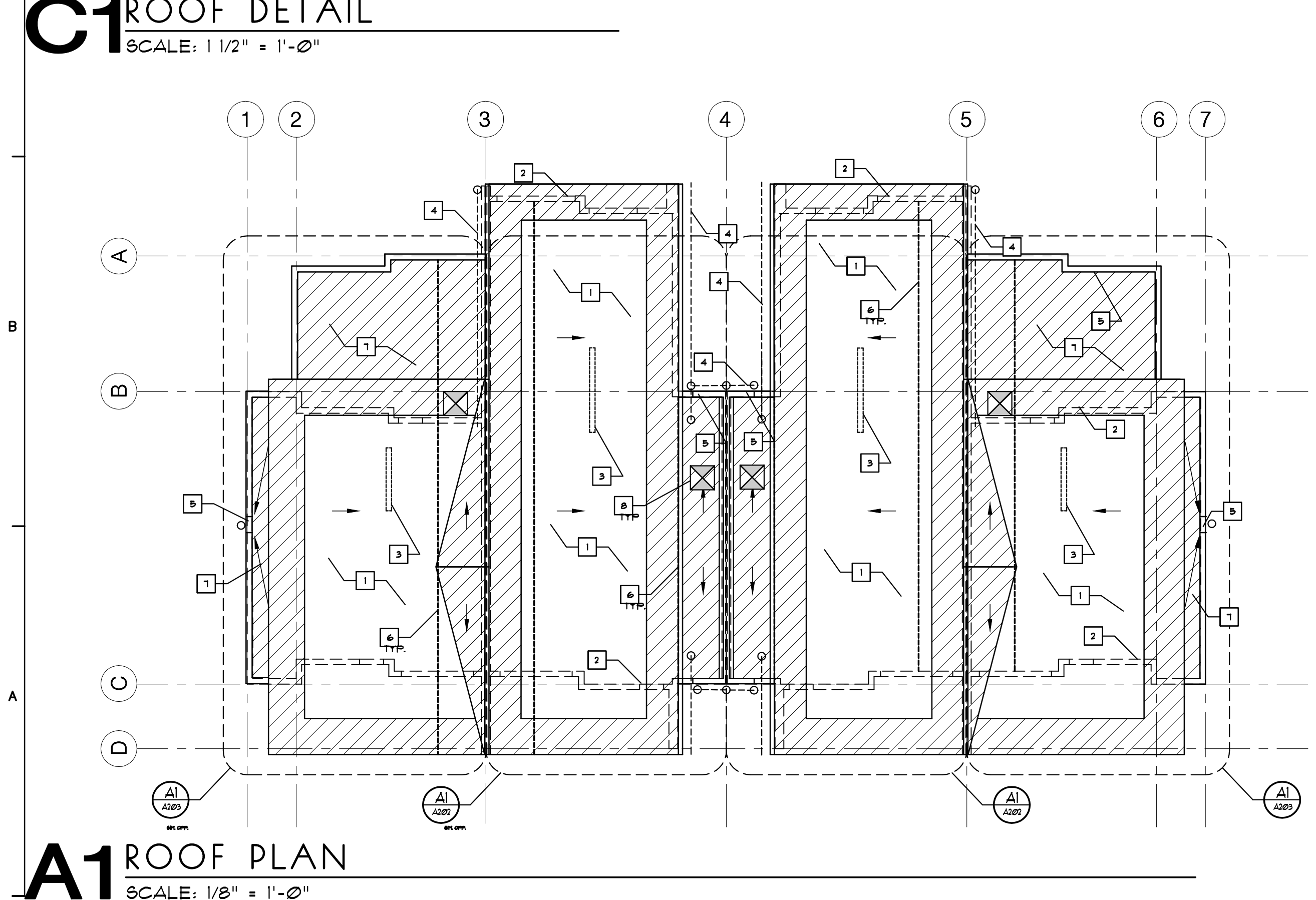
-  AREA OF WATER AND ICE SHIELD * LOWER ROOF GRADE FIRE AND ICE UNDERLAYMENT
-  AREA OF WATER AND ICE SHIELD * UPPER ROOF GRADE FIRE AND ICE UNDERLAYMENT

GENERAL NOTES

1. INSTALL VALLEY FLASHING, & FINISH TRIM PER MANUFACTURER'S RECOMMENDATIONS.



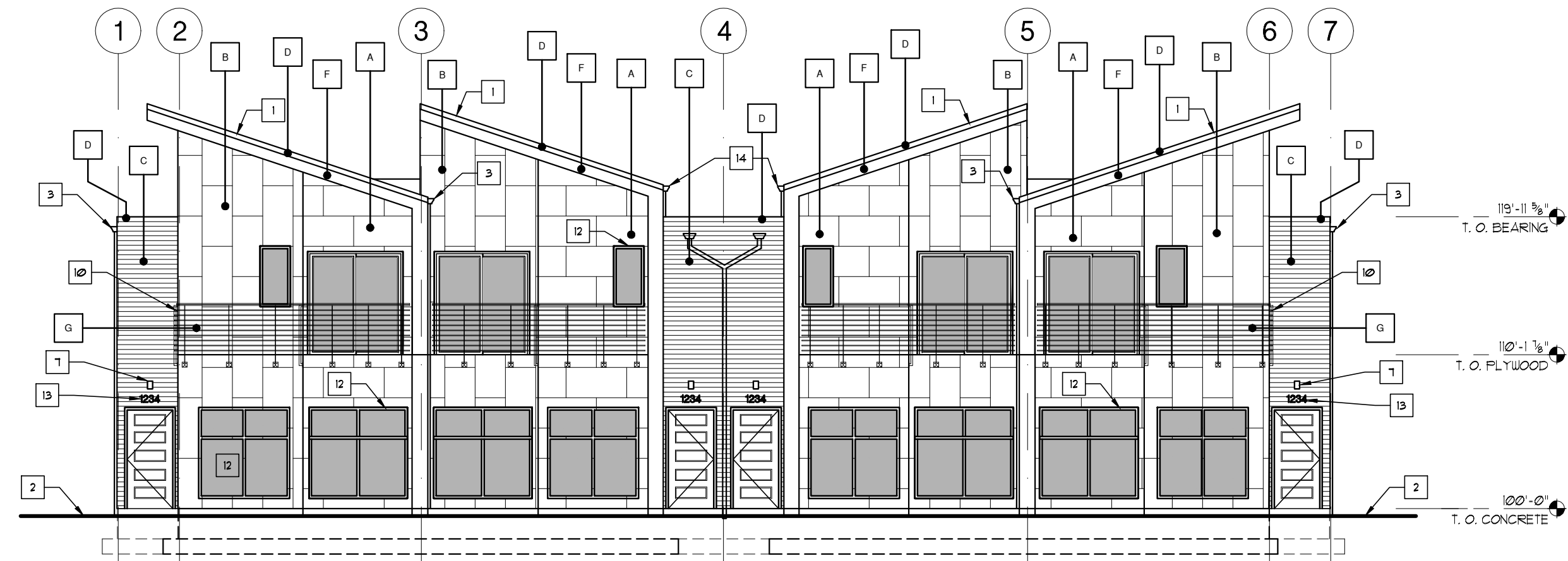
CITY REVIEW
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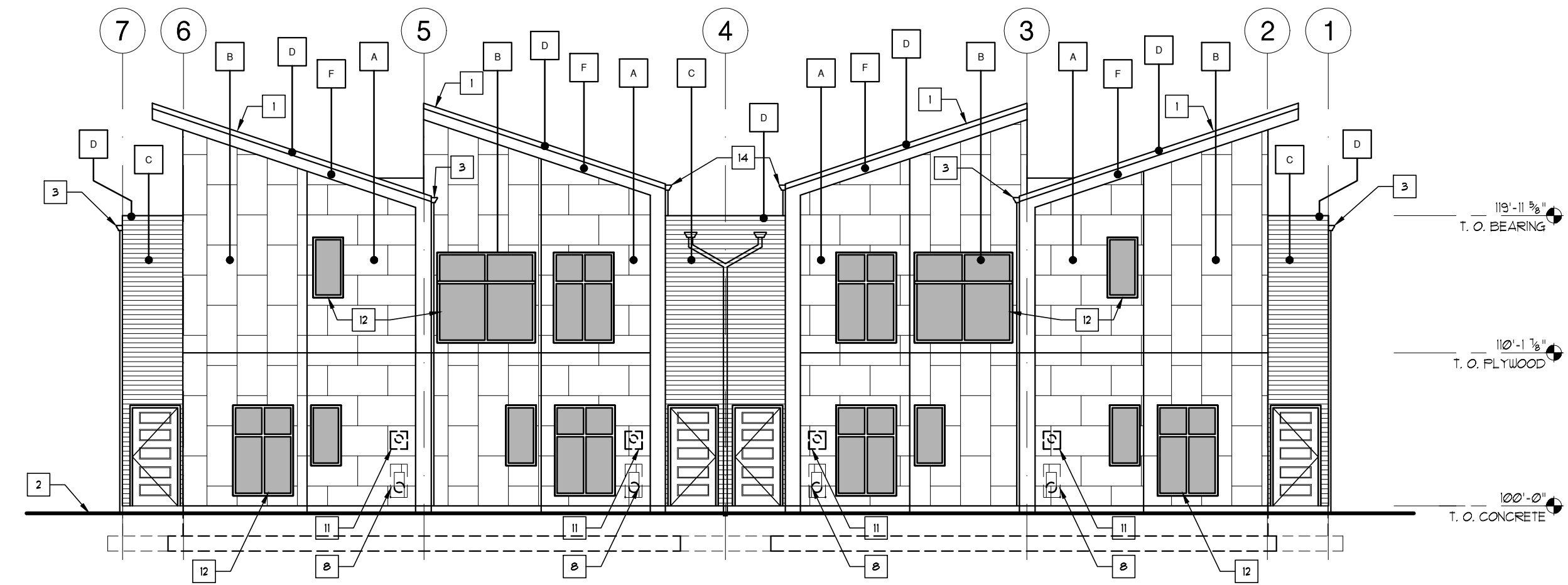
A7 ROOF DETAIL
SCALE: 1/2" = 1'-0"

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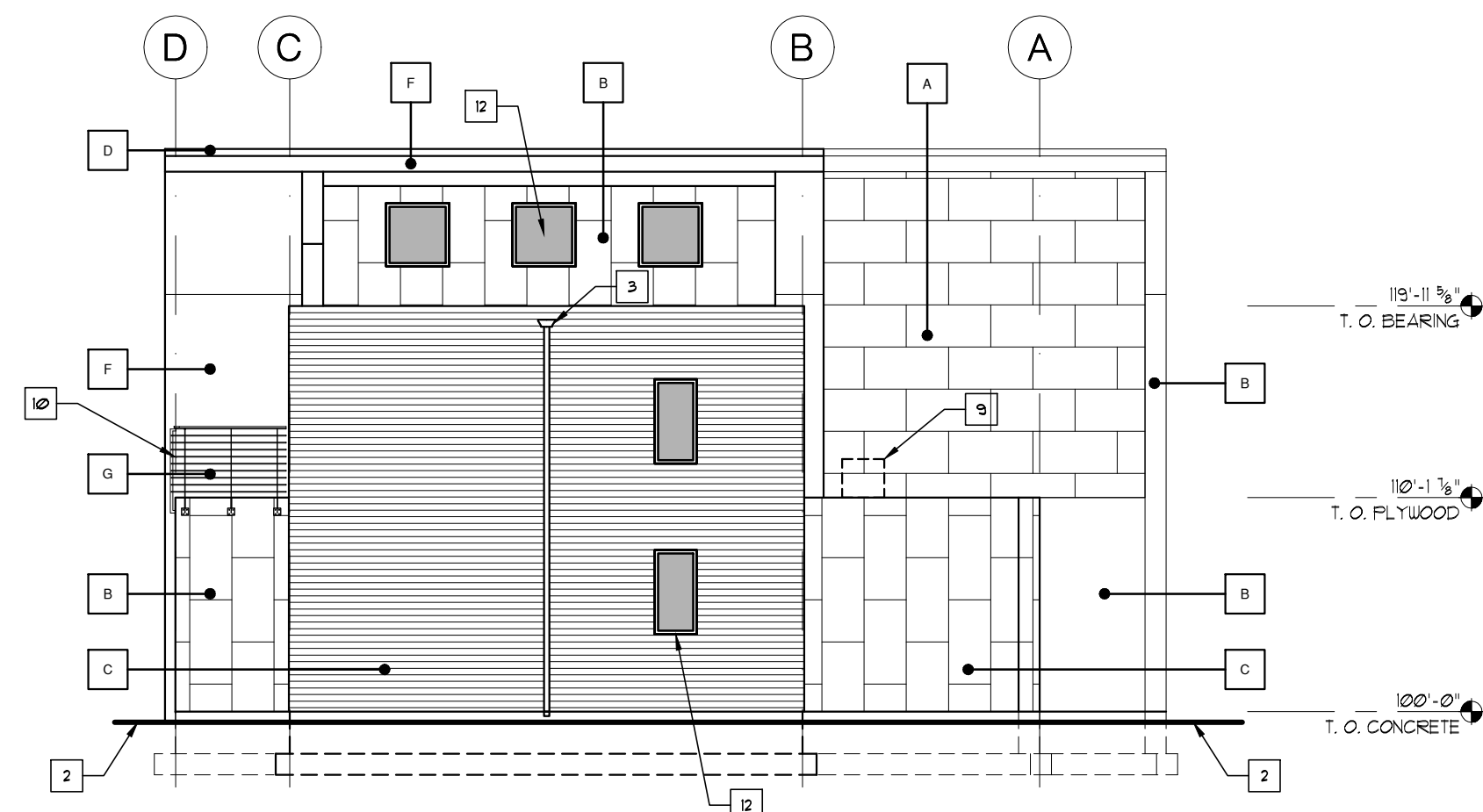
KEY NOTES	GENERAL NOTES	LEGEND	MATERIAL FINISH SCHEDULE
<ol style="list-style-type: none"> 1 ASPHALT SHINGLES. SEE ROOF PLAN FOR ADDITIONAL INFORMATION. 2 FINISH GRADE. RE: CIVIL DRAWINGS. 3 PRE-FINISHED METAL RAIN GUTTER WITH LEADERS. HOLD TIGHT TO OR ADJACENT TO SIDING. SEE ROOF PLAN SHEET A231. COLOR SELECTED BY OWNER. 4 NOT USED. 5 NOT USED. 6 NOT USED. 7 EXTERIOR LIGHT FIXTURE-TYPICAL. RE: ELECTRICAL DRAWINGS. 8 GAS METER. SEE MECHANICAL DRAWINGS. 9 HVAC CONDENSING UNIT. SEE MECHANICAL DRAWINGS. 10 42" GUARDRAIL AT SECOND LEVEL. RE: A1/A101. 11 ELECTRICAL METER. SEE DETAIL C1/A101 FOR WALL FINISH AT PANELS AND SEE ELECTRICAL DRAWINGS. 12 DOUBLE GLAZED LOW-E VINYL WINDOW. 13 PROVIDE PROPERTY ADDRESS PER REDMOND CITY FIRE STANDARDS. STYLE AND FINISH SELECTED BY OWNER. 14 PRE-FINISHED METAL RAIN GUTTER WITH LEADER DISCHARGE INTO GUTTER BELOW. COLOR SELECTED BY OWNER. 	<ol style="list-style-type: none"> A CONTRACTOR TO CONFIRM/VERIFY LOCATIONS AND DIMENSIONS OF ALL UTILITIES TO CONFIRM THAT SPACE ALLOCATED IS SUFFICIENT. B RE: STRUCTURAL SERIES FOR FRAMING AND FOUNDATION DETAILS. C ALL MATERIAL SYMBOLS ARE FOR REPRESENTATIONAL PURPOSE ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING PROPER INSTALLATION. D STUCCO CONTROL JOINTS, BOTH HORIZONTAL AND VERTICAL SHALL BE USED AS COLOR SEPARATORS AT LOCATIONS SHOWN. E THE GENERAL CONTRACTOR SHALL CONFIRM MINIMUM SEPARATION DISTANCE PER CODE AND COORDINATE DOOR SUBMITTAL ACCORDINGLY. 	<p>ALUMINUM OR HARDIE TRIM. SEE MATERIAL LEGEND FOR STYLE.</p> <p>HARDIE PANEL VERTICAL SIDING. PANELS, 5/16" THICK, SMOOTH.</p> <p>HERMAN PACIFIC HORIZONTAL WEATHERBOARD</p>	<ol style="list-style-type: none"> A 24"-36" X 48"-60" HARDIE PANEL SMOOTH (COUNTRYLAND RED) INSTALLED OVER TIMBER CAVITY WALL SYSTEM, IN A HORIZONTAL STACKED PATTERN. SEE ELEVATIONS FOR PATTERN. B 24"-36" X 48"-60" HARDIE PANEL SMOOTH (PEARL GRAY) INSTALLED OVER TIMBER CAVITY WALL SYSTEM, IN A VERTICAL STACKED PATTERN. SEE ELEVATIONS FOR PATTERN. C HERMAN PACIFIC HORIZONTAL WEATHERBOARD INSTALLED OVER TIMBER CAVITY WALL SYSTEM, IN A VERTICAL STACKED PATTERN. FINISH AND PATTERN SELECTED BY ARCHITECT. D PRE-FINISHED ALUMINUM TRIM BY FIRESTONE ROOFING. COLOR CHOSEN BY ARCHITECT. E ASPHALT SHINGLE ROOFING W/ 30-YR WARRANTY. COLOR CHOSEN BY ARCHITECT. F HARDIE TRIM BY JAMES HARDIE, CUSTOM COLOR CHOSEN BY ARCHITECT. G GUARDRAILS: TOP RAIL TO BE SOLID WOOD TO MATCH HERMAN PACIFIC WALL FINISH AND RAILINGS TO BE METAL WITH MAT BLACK FINISH. H PRE-FINISHED ALUMINUM FACIA AND SOFFIT BY FIRESTONE ROOFING. COLOR CHOSEN BY ARCHITECT.



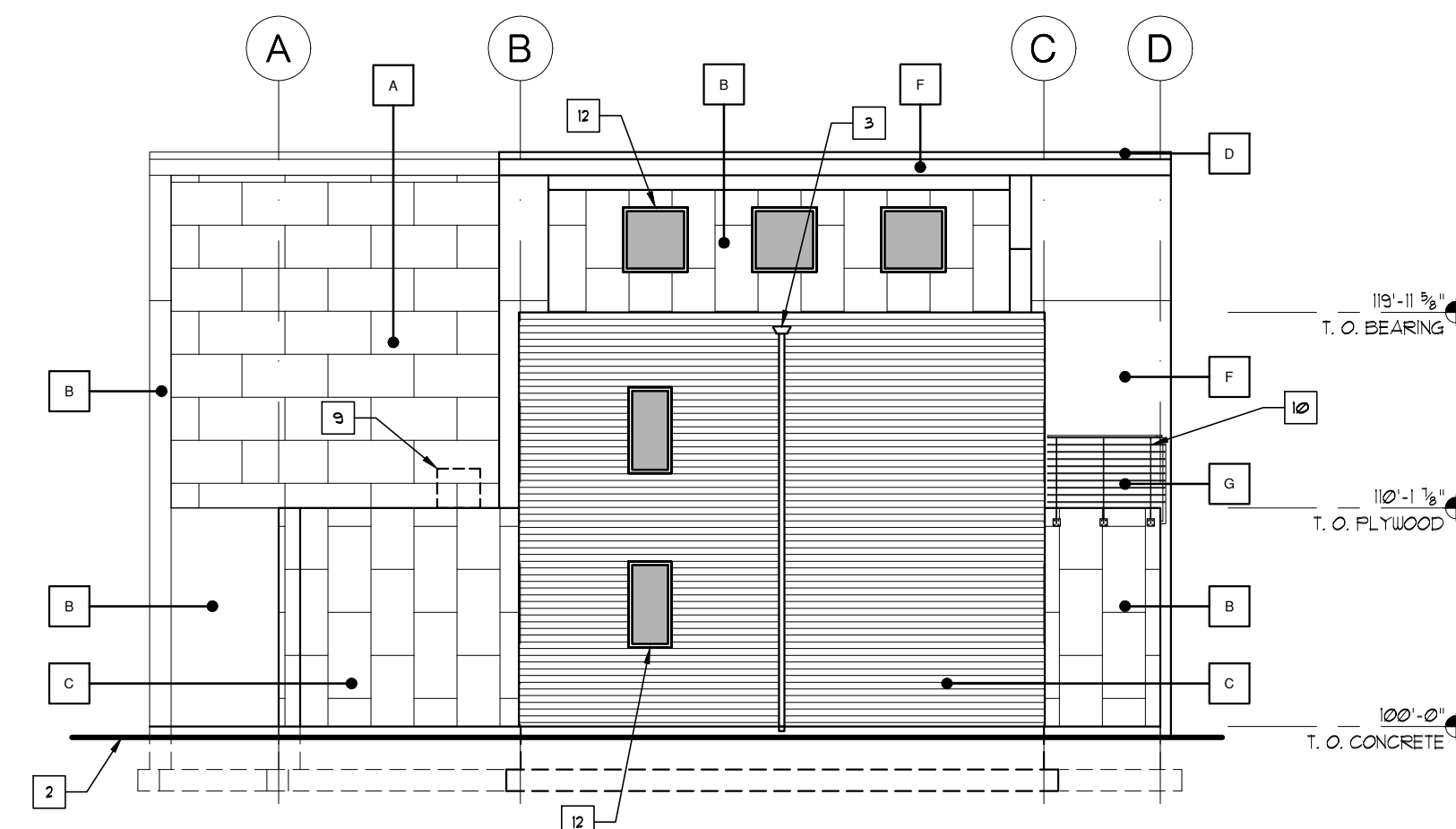
D1 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



D5 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



B1 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



B5 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

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NEW DEVELOPMENT
THE 27 ELM
A HUNTER RENAISSANCE DEVELOPMENT
REDMOND
OREGON

REGISTERED ARCHITECT
STATE OF OREGON

SEALS AND SIGNATURES

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ELEVATIONS
Sheet Title

AS NOTED
Scale

1602
Project Number

NOVEMBER 8, 2016
Date

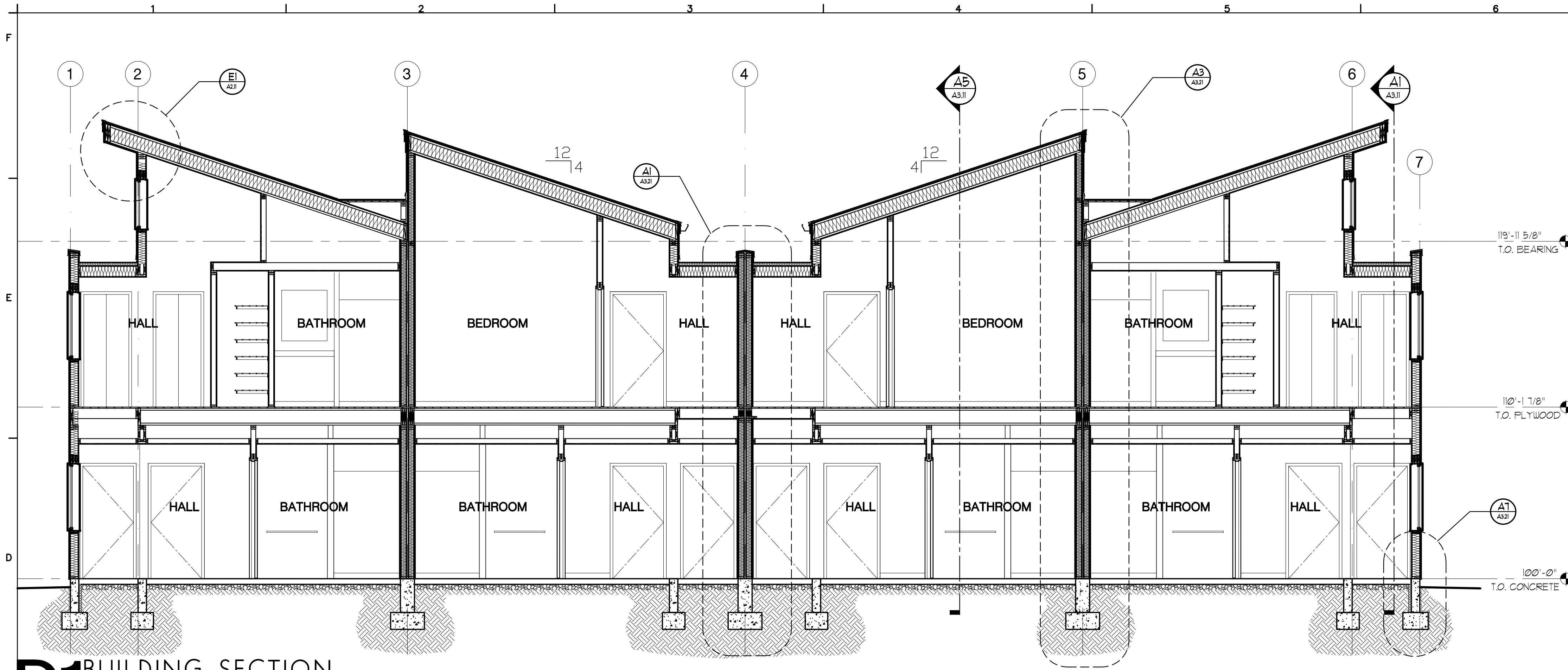
1602SHEETSET.DWG
File Name

Revisions

A3.01

11/12/16 2:18:20 PM THINK Matt Huffield

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D1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

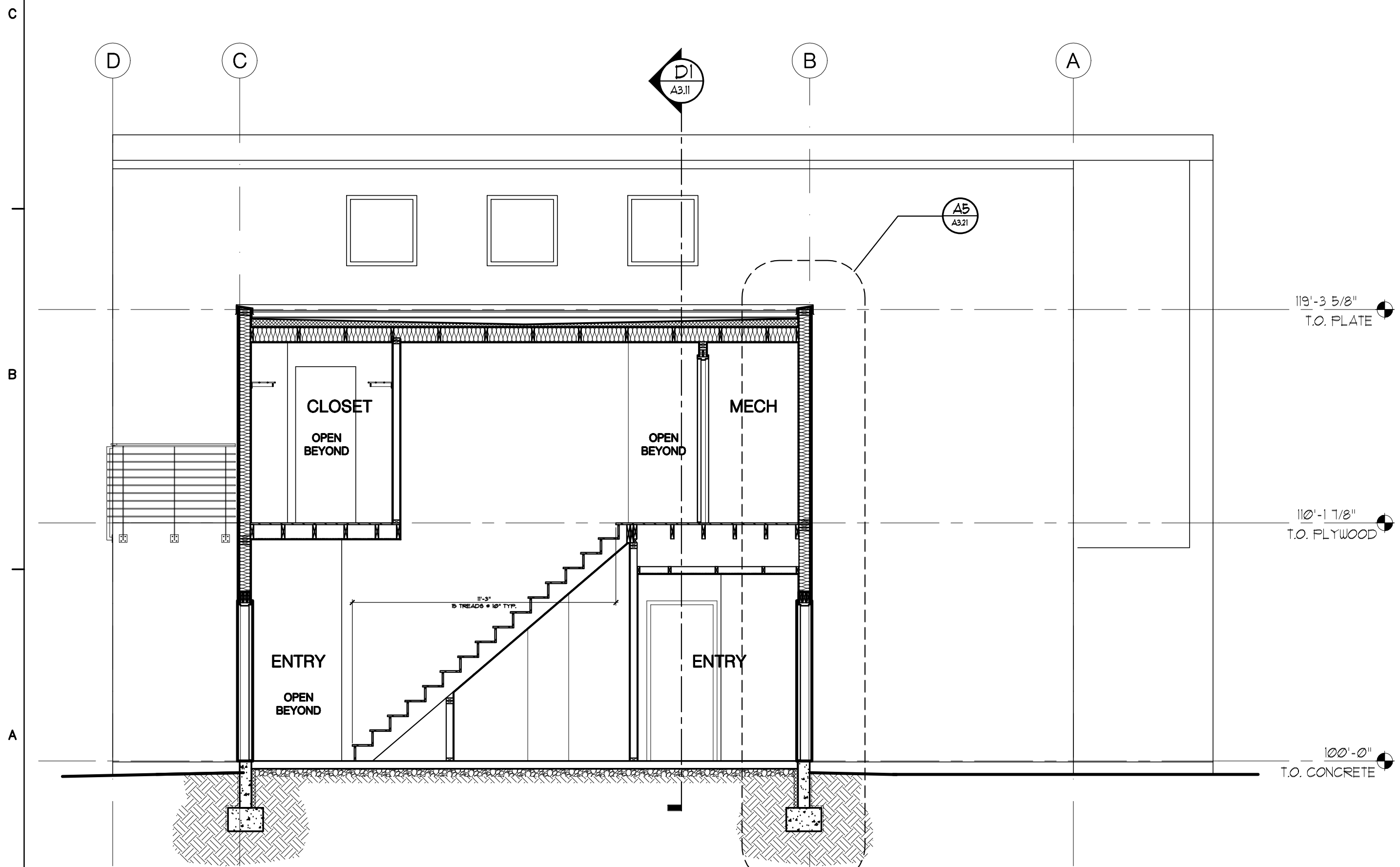
KEY NOTES

- 1 JOISTS PER MFR. SEE STRUCTURAL
- 2 INSULATION CONSISTING OF 2 LAYERS RIGID EPS TO UNDERSIDE OF ROOF DECK THEN CLOSED CELL SPRAY FOAM INSULATION, R-38 TOTAL. CEILING, R-19 TOTAL FLOOR.
- 3 BATT INSULATION (R-13 FOR 2X4 AND R-19 FOR 2X6 WALLS)
- 4 CONTINUOUS VAPOR BARRIER (ON WARM SIDE OF FRAMING) ALL EXTERIOR WALLS
- 5 CEMENTITIOUS BOARD SIDING WITH SMOOTH FINISH OVER TIMBER FRAME CAVITY FURRING. SEE DETAIL A1/A101
- 6 FURRED DOWN CEILING WITH 1/2" GYPSUM BOARD ATTACHED TO 2X6 CEILING JOISTS @ 24" O.C. TYP.
- 7 4" CONCRETE WALK OR PATIO OVER COMPACTED FILL. SLOPE AWAY FROM BUILDING MIN. 1/8" PER FOOT.
- 8 FINISH GRADE. SEE CIVIL DRAWINGS.
- 9 PRE-FINISHED METAL RAIN GUTTER WITH DOWNSPOUT LEADERS.
- 10 4" GUARDRAIL AT PATIO. SEE XX/A3/XX FOR TYPICAL GUARDRAIL.
- 11 BITUMINOUS DAMPROOFING. TYPICAL BELOW GRADE AT FOOTING EXTERIOR WALLS.
- 12 R-11 INSULATION BOARD. TYPICAL AT PERIMETER FOOTINGS AND SLAB FOUNDATION WALL WHERE NOTED.
- 13 5-MIL VAPOR RETARDER OVER COMPACTED GRAVEL DRAINAGE COURSE. TYPICAL.
- 14 3 1/2" UNFACED FIBERGLASS BATT INSULATION AT FIRE PARTITIONS, OR AS NOTED.
- 15 CONCRETE FOOTING. SEE STRUCTURAL DRAWINGS.
- 16 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD AT FIRE PARTITION WALLS.
- 17 WALL BASE AS SCHEDULED.
- 18 STAIR STRINGERS PER STRUCTURAL.
- 19 MOISTURE BARRIER, EXTEND FULL LENGTH OF WALL UNDER SOFFIT, FLASH OVER AS REQ'D.
- 20 2X8 D.F. JOISTS, SEE STRUCTURAL
- 21 2" GYPCRETE OVER GRADE FIRE AND ICE OVER STRUCTURAL DECK. SLOPE AWAY FROM FLASHING.
- 22 1/2" FIBERBOARD EXPANSION AT STEM WALL
- 23 FIREBLOCKING

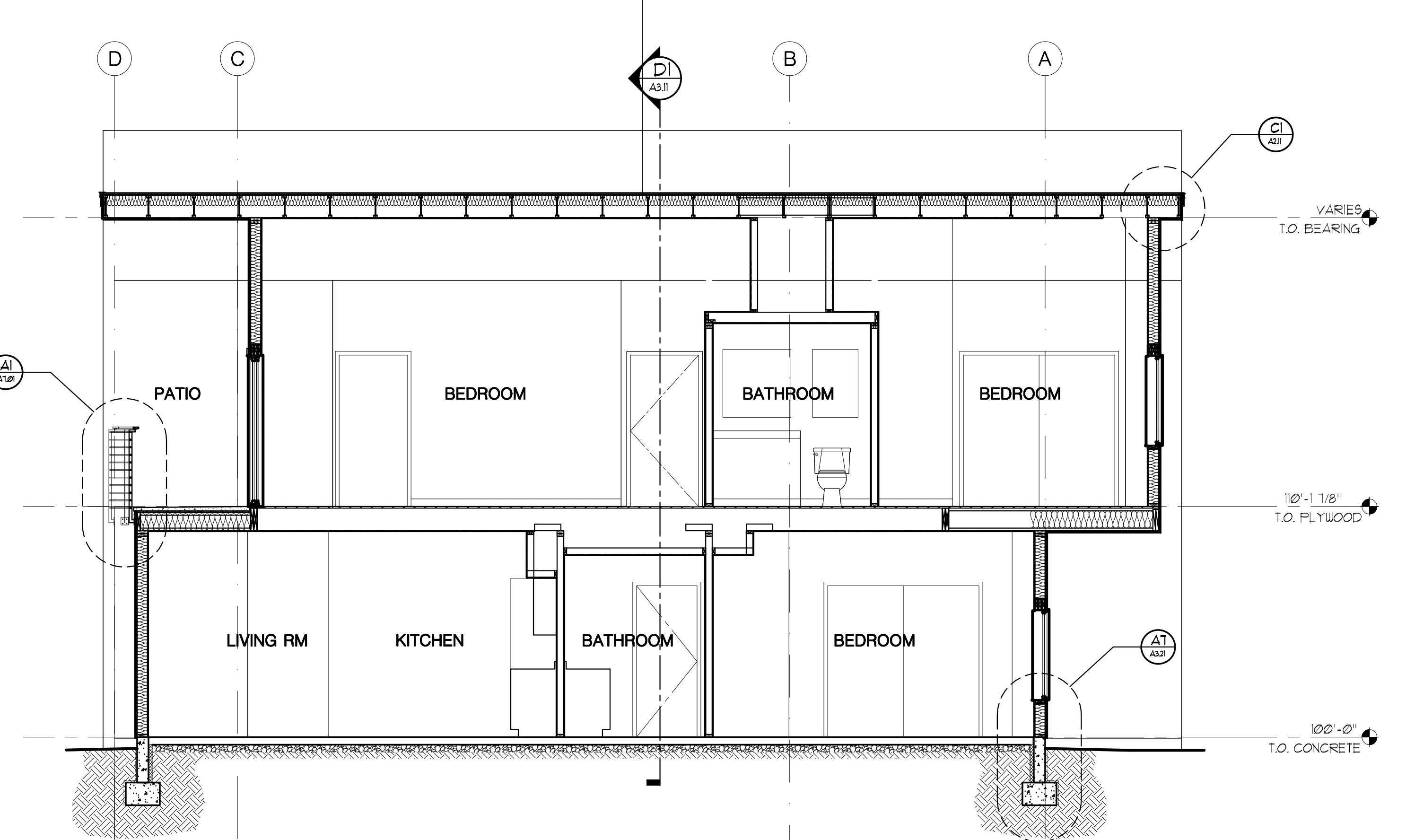
GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF PRIMARY STRUCTURAL COMPONENT (STUDS, CONCRETE OR STRUCTURAL GRID) FOR CONSTRUCTION ASSEMBLY UNLESS NOTED OTHERWISE.
2. SEE A6/01 FOR DOOR SCHEDULE.
3. SEE A6/01 FOR FINISH SCHEDULE.
4. SEE A6/01 FOR WINDOW, DOOR, AND FRAME TYPES.
5. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES WITH THE DRAWINGS TO THE ARCHITECT PRIOR TO THE BEGINNING OF WORK.
6. CONTRACTOR TO MAINTAIN BUILDING IN A WEATHER TIGHT CONDITION DURING INSTALLATION OF FINISH MATERIALS.
7. EXIT DOORS TO BE OPERABLE FROM INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE IN ACCORDANCE WITH IRC 2016.
8. CONTRACTOR TO COORDINATE WITH OWNER FOR LOCATION OF ALL SPECIAL EQUIPMENT AND SPECIAL POWER REQUIREMENTS.
9. ALL NEW FIXTURES AND EQUIPMENT TO BE INSTALLED, ARE TO BE SO IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS, ACCEPTED BUILDING STANDARDS AND ALL APPLICABLE BUILDING CODES.

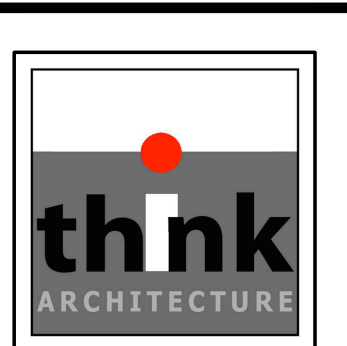
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A1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



A5 BUILDING SECTION
SCALE: 1/4" = 1'-0"



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NEW DEVELOPMENT
THE 27 ELM
A HUNTER RENAISSANCE DEVELOPMENT
REDMOND OREGON



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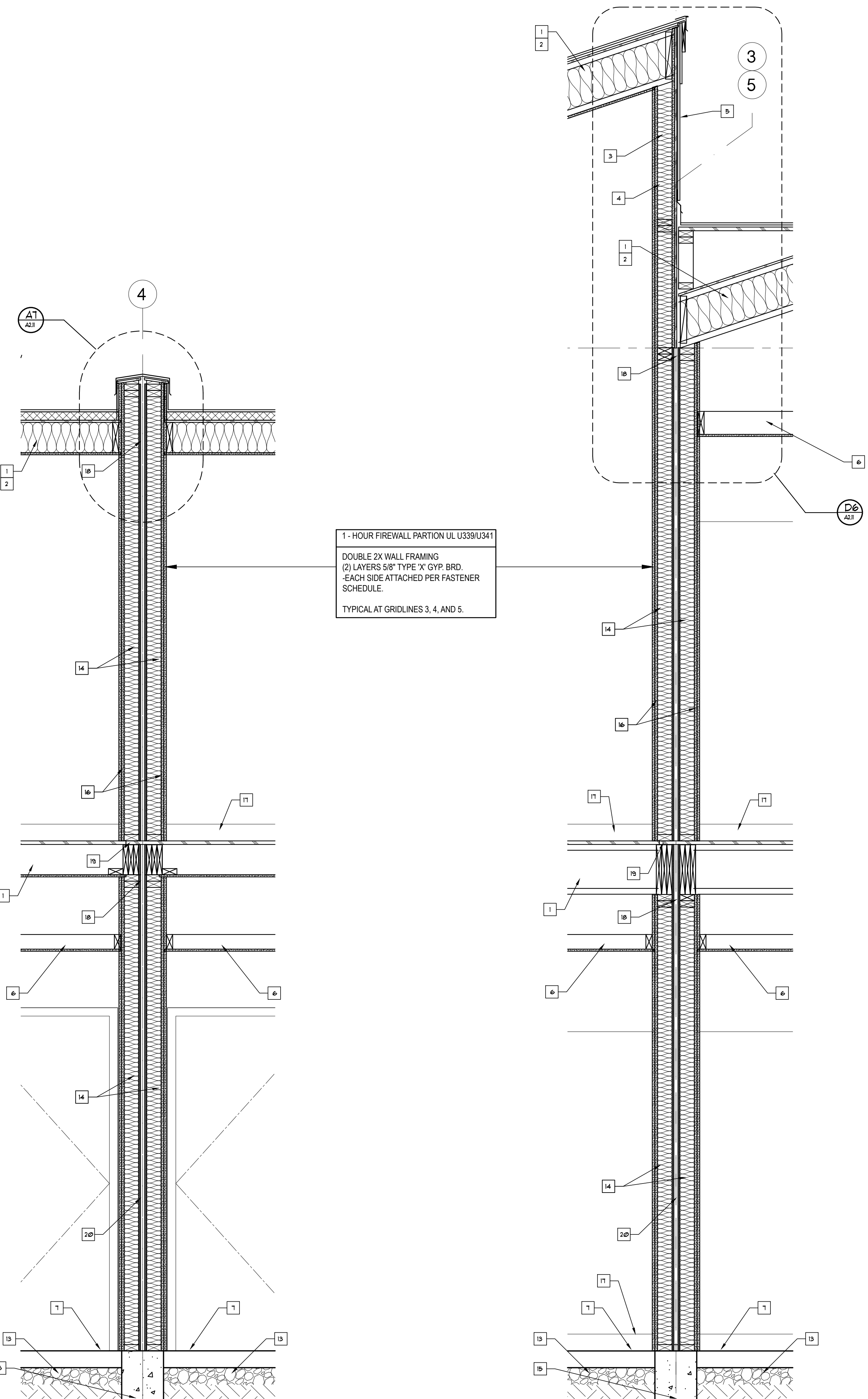
BUILDING SECTIONS
Sheet Title

AS NOTED
Scale
1602
Project Number
NOVEMBER 8, 2016
Date
1602SHEETSET.DWG
File Name
Revisions

A3.11

11/12/16 2:18:30 PM THINK Matt Huffield

11/12/16 2:18:39 PM THINK Matt Huffield



A1 WALL SECTION
SCALE: 3/4" = 1'-0"

A3 WALL SECTION
SCALE: 3/4" = 1'-0"

FIRE RESISTIVE FASTENER SCHEDULE

- 1. WALL ASSEMBLIES**
- (COVER PLYWOOD SHEAR PANEL) ATTACHED TO STUDS THROUGH FLYWOOD SHEATHING WITH 6d CEMENT COATED NAILS 2 3/8" LONG W/ #13 DIA. SHANK AND 9/32" DIA. HEADS AT 1" O.C. ALONG STUDS AND AT PERIMETER OF PANELS OR 1 7/8" TYPE S OR TYPE W SCREWS AT 8" O.C.
- (ON STUDS) 5/8" TYPE 'X' GYP. BRD. ATTACHED TO STUDS OR BLOCKING W/ 6d CEMENT COATED NAILS 1 7/8" LONG W/ #13 DIA. SHANK AND 9/32" DIA. HEAD AT 1" O.C. OR 1 7/8" LONG NO. 6 BULGE HEAD SCREWS AT 12" O.C.

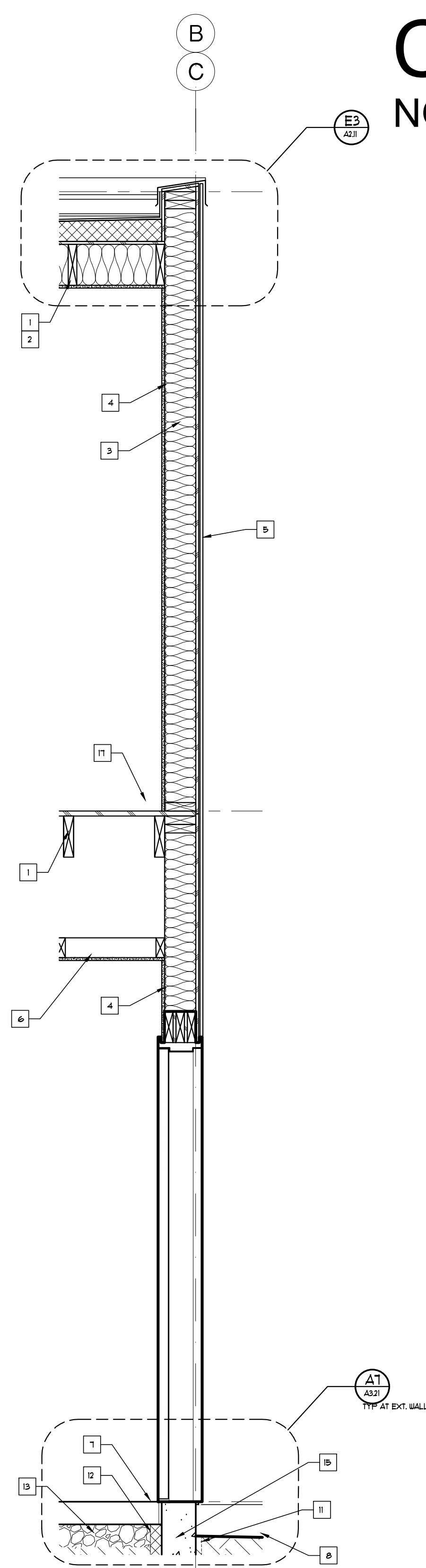
KEY NOTES

- 1 JOISTS PER MFR. SEE STRUCTURAL.
- 2 R-38 TOTAL INSULATION CONSISTING OF 2" RIGID EPS INSTALLED TO UNDERSIDE OF ROOF DECK THEN APPROXIMATELY 6" CLOSED CELL SPRAY FOAM INSULATION.
- 3 BATT INSULATION (R-13 FOR 2X4 AND R-19 FOR 2X6 WALLS)
- 4 CONTINUOUS VAPOR BARRIER (ON WARM SIDE OF FRAMING) ALL EXTERIOR WALLS
- 5 CEMENTITIOUS BOARD SIDING WITH SMOOTH FINISH OVER TIMBER FRAME CAVITY FURRING. SEE DETAILS ON A2.01
- 6 FURRED DOWN CEILING WITH 1/2" GYPSUM BOARD ATTACHED TO 2x6 CEILING JOISTS @ 24" O.C. TYP.
- 7 CONCRETE SLAB ON GRADE. SEE STRUCTURAL.
- 8 FINISH GRADE. SEE CIVIL DRAWINGS.
- 9 NOT USED.
- 10 NOT USED.
- 11 BITUMINOUS DAMPROOFING. TYPICAL BELOW GRADE AT FOOTING EXTERIOR WALLS.
- 12 R-11 INSULATION BOARD. TYPICAL AT PERIMETER FOOTINGS AND SLAB FOUNDATION WALL WHERE NOTED.
- 13 5-MIL VAPOR RETARDER OVER COMPACTED GRAVEL DRAINAGE COURSE. TYPICAL.
- 14 3/4" UNFACED FIBERGLASS BATT INSULATION AT FIRE PARTITIONS, OR AS NOTED.
- 15 CONCRETE FOOTING. SEE STRUCTURAL DRAWINGS.
- 16 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD AT FIRE PARTITION WALLS.
- 17 WALL BASE AS SCHEDULED.
- 18 FIREBLOCKING AT CEILING AND FLOOR LEVEL.
- 19 SUB-FLOOR PERMITTED TO RUN CONTINUOUS OVER PROPERTY LINE.
- 20 1" AIR SPACE CLEAR BETWEEN WALLS. FIREBLOCK @ 8'-0" O.C. HORIZONTAL AND VERTICAL.

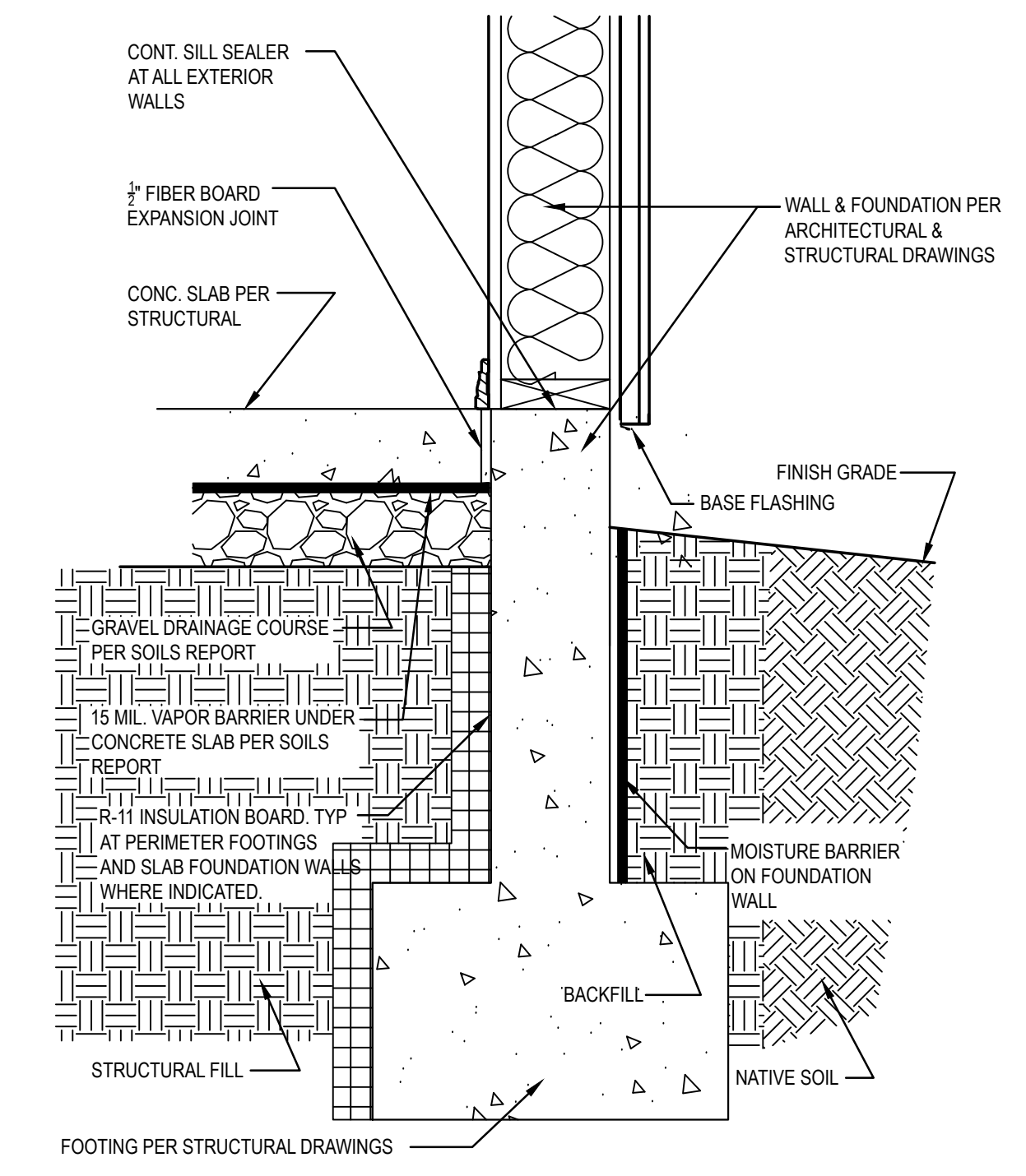
GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF PRIMARY STRUCTURAL COMPONENT (STUDS, CONCRETE OR STRUCTURAL GRID) FOR CONSTRUCTION ASSEMBLY UNLESS NOTED OTHERWISE.
2. SEE A6.01 FOR DOOR SCHEDULE.
3. SEE A6.01 FOR FINISH SCHEDULE.
4. SEE A6.01 FOR WINDOW, DOOR, AND FRAME TYPES.
5. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES WITH THE DRAWINGS TO THE ARCHITECT PRIOR TO THE BEGINNING OF WORK.
6. CONTRACTOR TO MAINTAIN BUILDING IN A WEATHER TIGHT CONDITION DURING INSTALLATION OF FINISH MATERIALS.
7. EXIT DOORS TO BE OPERABLE FROM INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE IN ACCORDANCE WITH IRC 2016.
8. CONTRACTOR TO COORDINATE WITH OWNER FOR LOCATION OF ALL SPECIAL EQUIPMENT AND SPECIAL POWER REQUIREMENTS.
9. ALL NEW FIXTURES AND EQUIPMENT TO BE INSTALLED, ARE TO BE SO IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS, ACCEPTED BUILDING STANDARDS AND ALL APPLICABLE BUILDING CODES.

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A5 WALL SECTION
SCALE: 3/4" = 1'-0"



A7 TYP. FOUNDATION DETAIL
SCALE: 1 1/2" = 1'-0"



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NEW DEVELOPMENT
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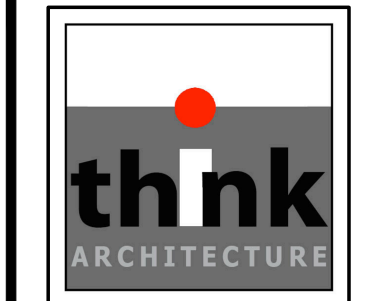
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BUILDING SECTIONS
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Revisions

A3.21

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INT. ELEVATIONS
Sheet Title

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File Name

Revisions

A5.01

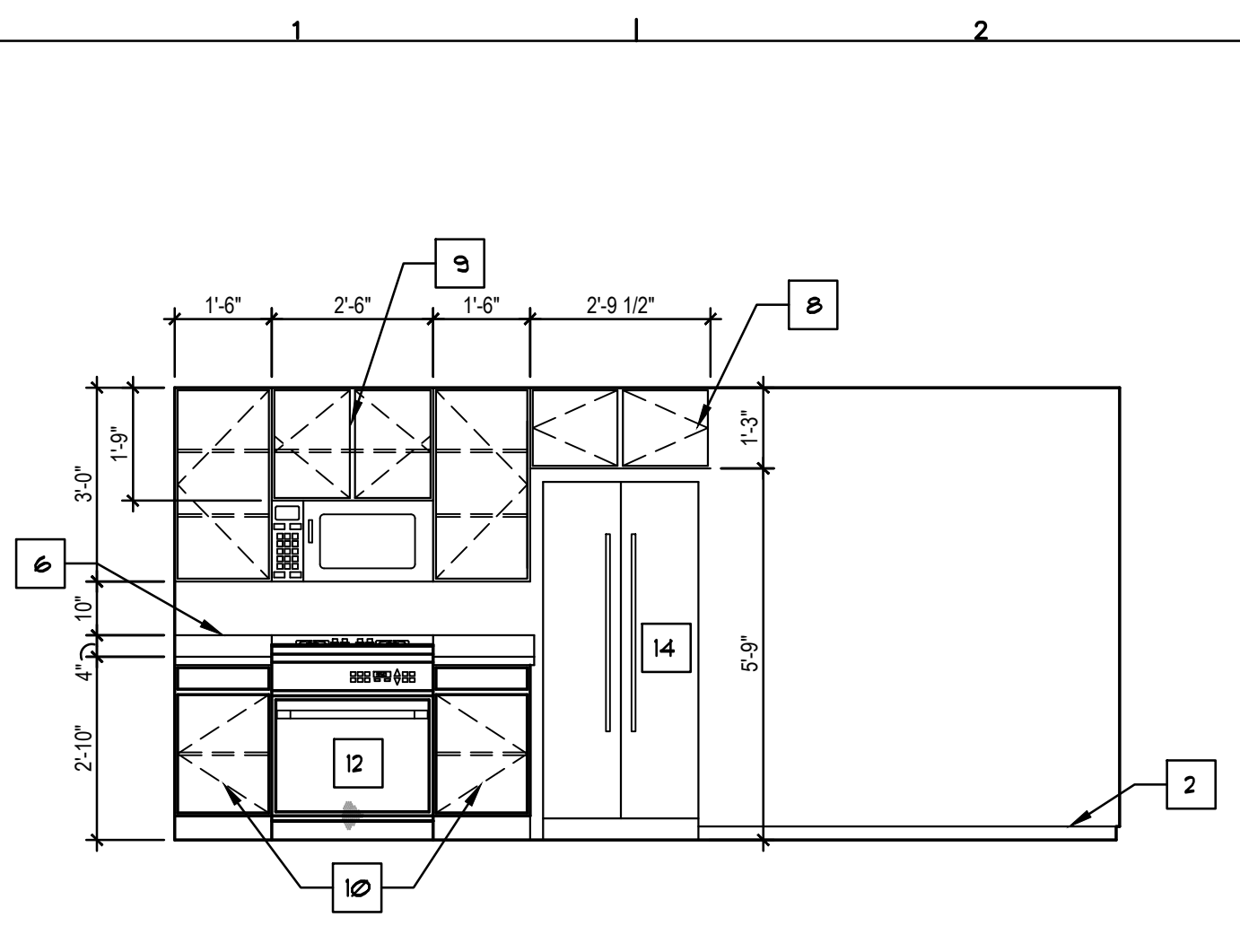
KEY NOTES

- 1 TOILET PAPER DISPENSER.
- 2 4" WALL BASE - SEE FINISH SCHEDULE.
- 3 3/16" POLISHED PLATE GLASS MIRROR WITH GROUND EDGES. INSTALL WITH CHROME MIRROR CLIPS. PROVIDE MIRROR: 3'-0" HIGH x 2'-6" WIDE AT BASE CABINET AND 3'-0" HIGH x 2'-0" WIDE AT ALL OTHER LOCATIONS. INSTALL SO THAT BOTTOM OF MIRROR IS AT TOP OF SPLASH.
- 4 WATER CLOSET.
- 5 EXTEND FLOOR FINISH BENEATH COUNTER TOP BACK TO WALL. WRAP OPEN AREA WITH FLOOR BASE.
- 6 GRANITE COUNTERTOP WITH INTEGRAL BACK SPLASH.
- 7 CULTURED MARBLE COUNTERTOP WITH INTEGRAL BACK SPLASH.
- 8 UPPER CABINET.
- 9 UPPER CABINET WITH ADJUSTABLE SHELVES.
- 10 BASE CABINET.
- 11 BASE CABINET WITH DRAWER AND ADJUSTABLE SHELF.
- 12 RANGE, BY OWNER.
- 13 SINK WITH GARBAGE DISPOSAL.
- 14 REFRIGERATOR.
- 15 DISHWASHER.
- 16 MICROWAVE WITH BUILT IN RANGE HOOD.
- 17 BUILT-IN MEDICINE CABINET.
- 18 WIRE SHELF.

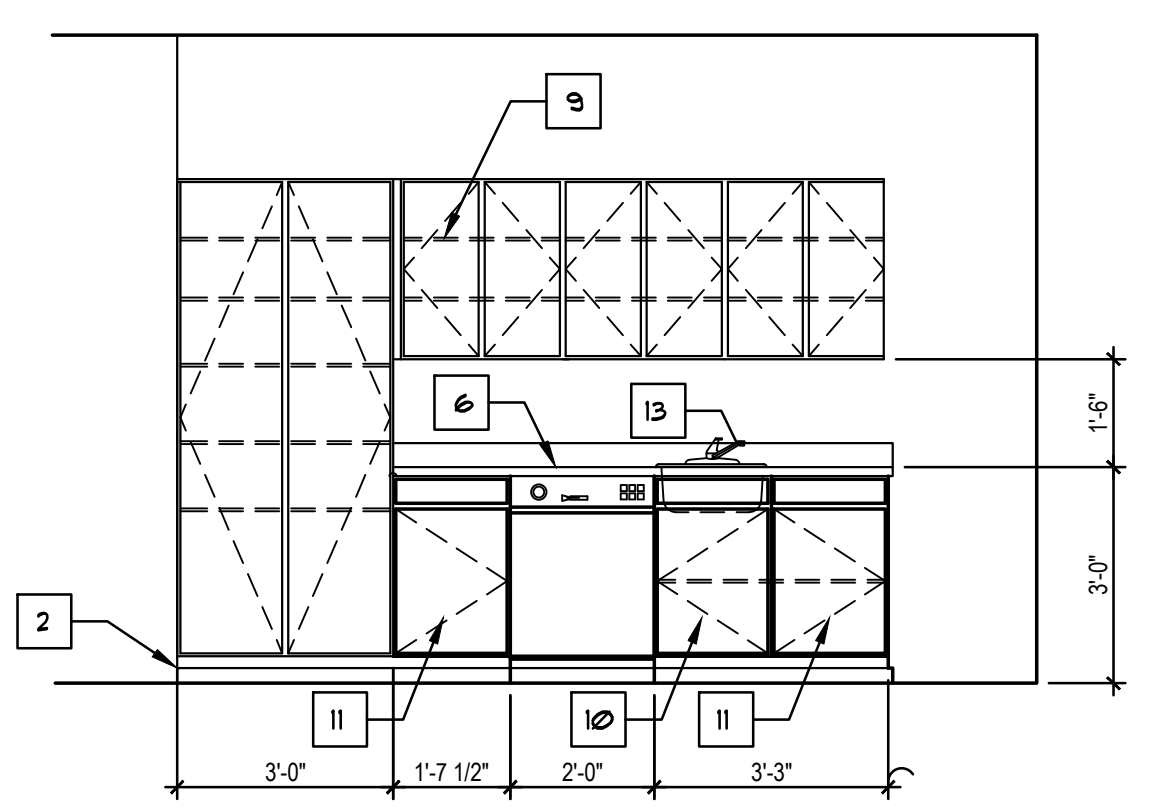
GENERAL NOTES

- A. NO FINISH REQUIRED ON WALL AREA CONCEALED BY PERMANENT FIXTURES.
- B. ALL GYPSUM BOARD APPLICATIONS SHALL BE TAPED AND FLOAT SMOOTH (FIRE TAPED).
- C. WHERE FIRE RATED CONSTRUCTION IS SPECIFIED, INSTALL 5/8" TYPE 'X' GYPSUM BOARD AGAINST FRAMING AND APPLY ALL OTHER MATERIAL AND FINISHES OVER.
- D. PAINT FINISH SCHEDULES:
1. WALLS AND CEILINGS: EGGSHELL
2. TRIM AND BASEBOARDS: SEMI-GLOSS
- E. PROVIDE BLOCKING REQUIRED FOR WALL MOUNTED FIXTURES.

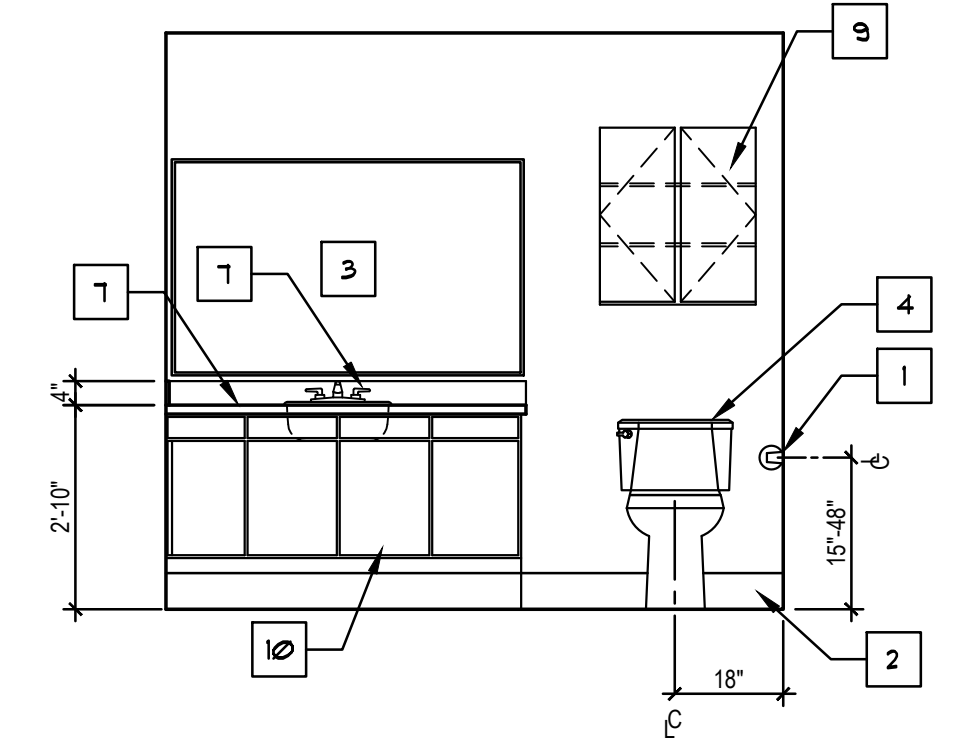
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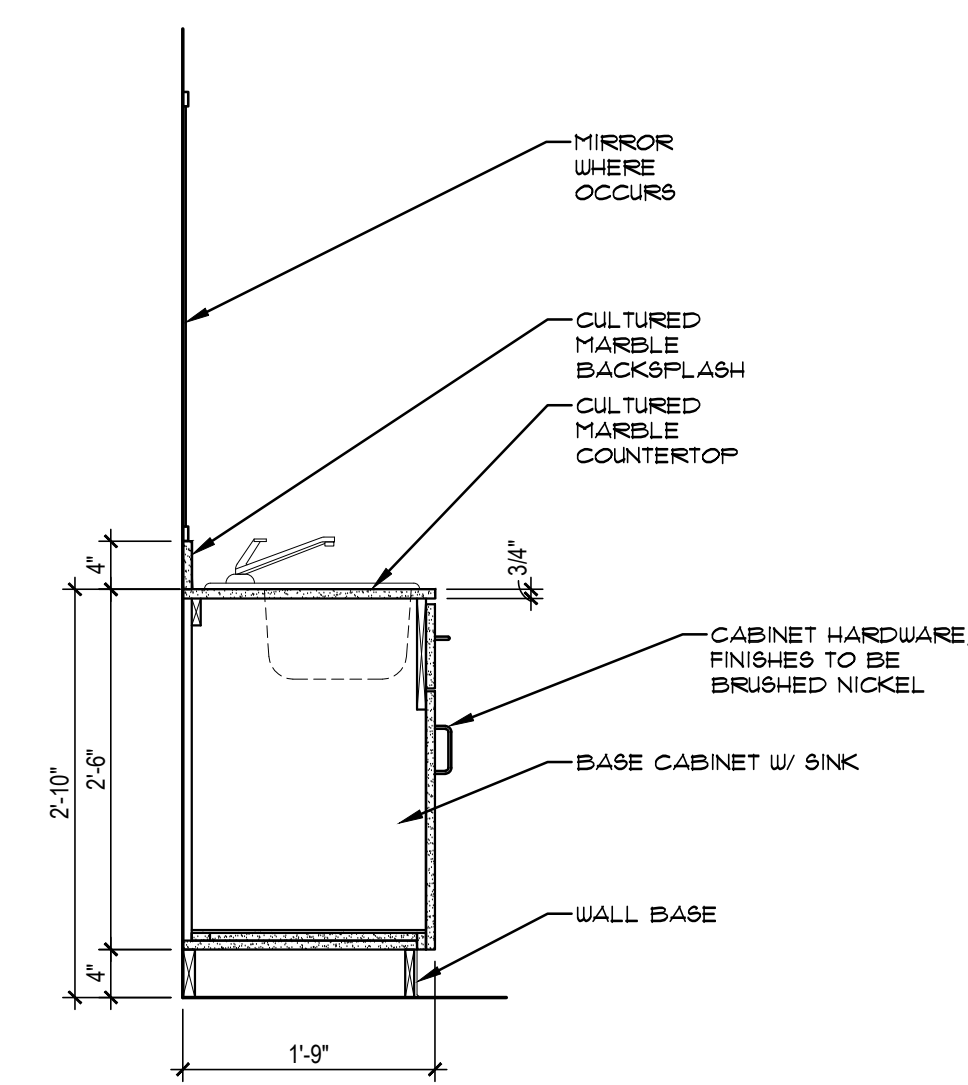
E1 KITCHEN - TYPICAL TYPE 'B' UNIT
3/8" = 1'-0"



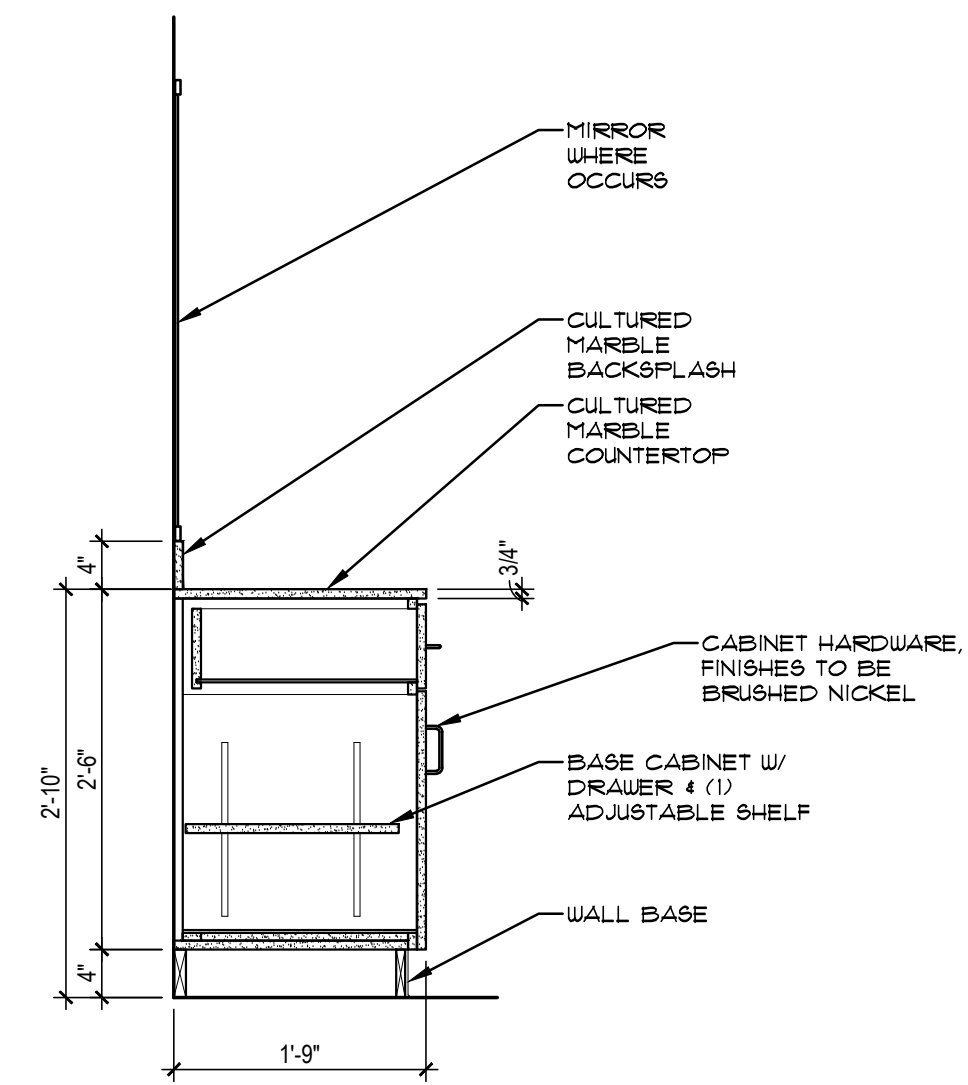
E3 KITCHEN - TYPICAL UNIT
3/8" = 1'-0"



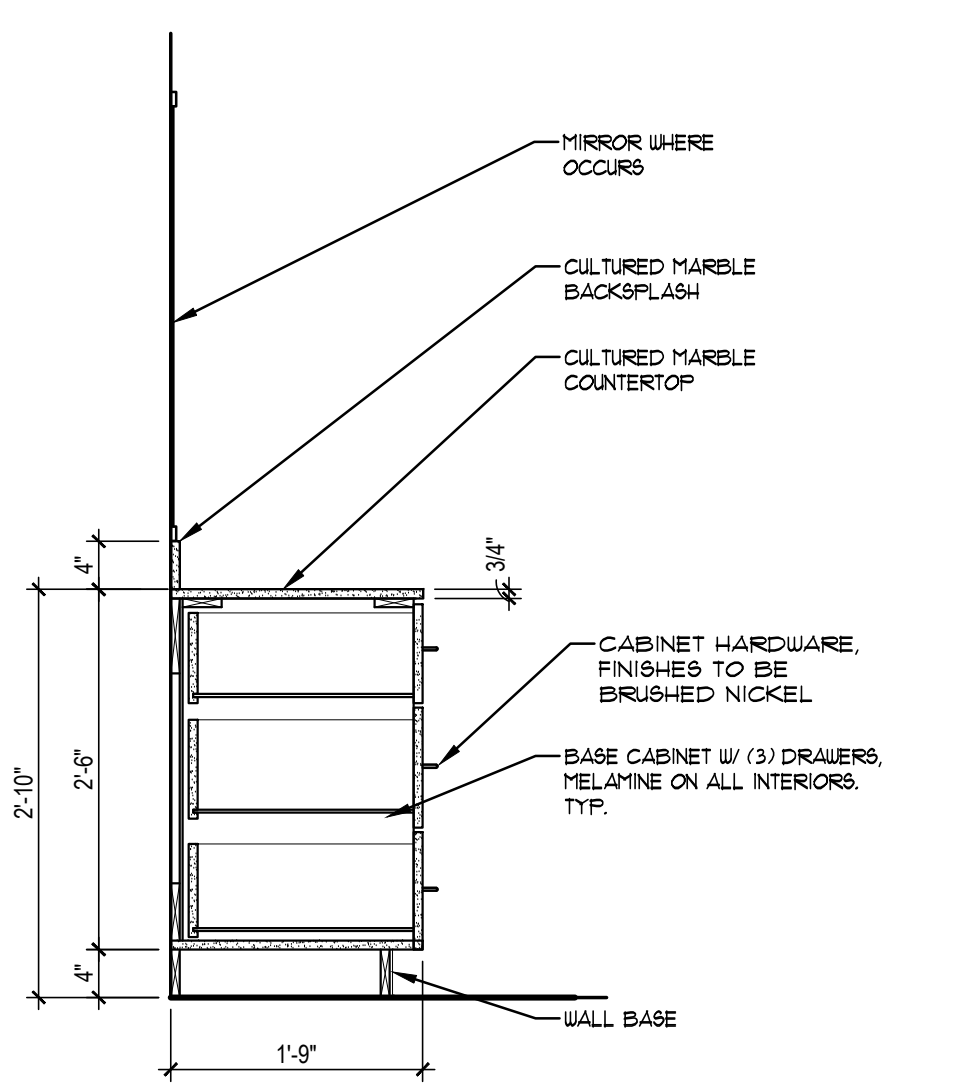
E5 BATHROOM - TYPICAL UNIT
3/8" = 1'-0"



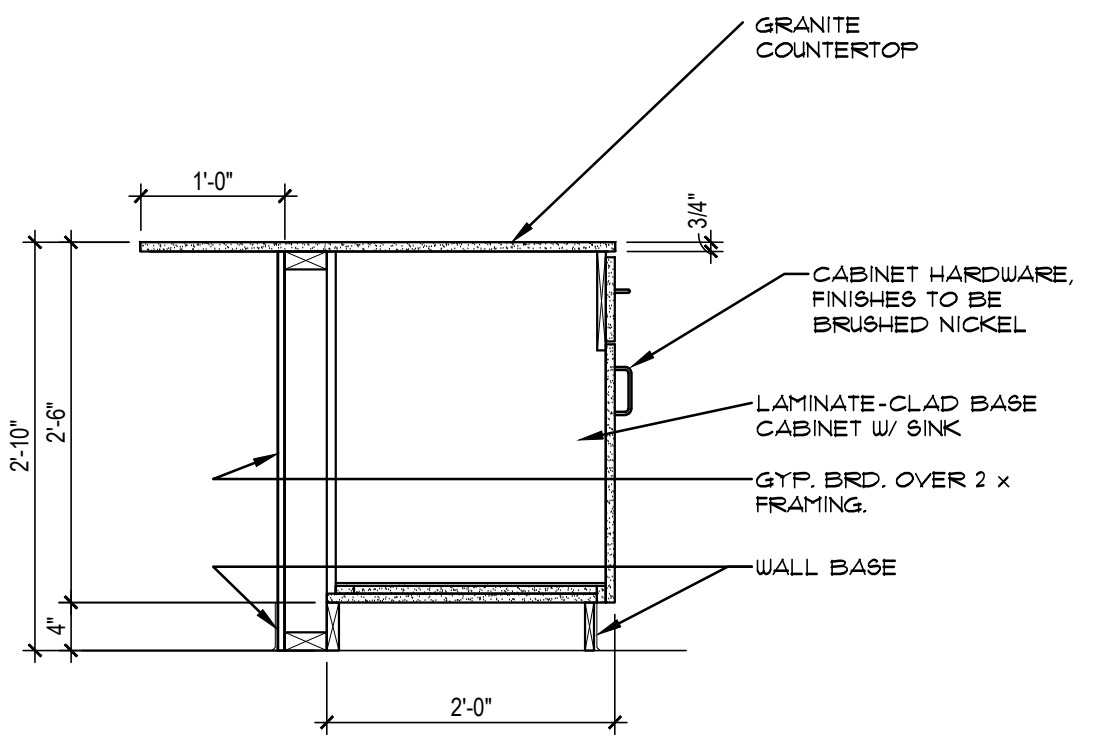
C1 BATHROOM CASEWORK
3/4" = 1'-0"



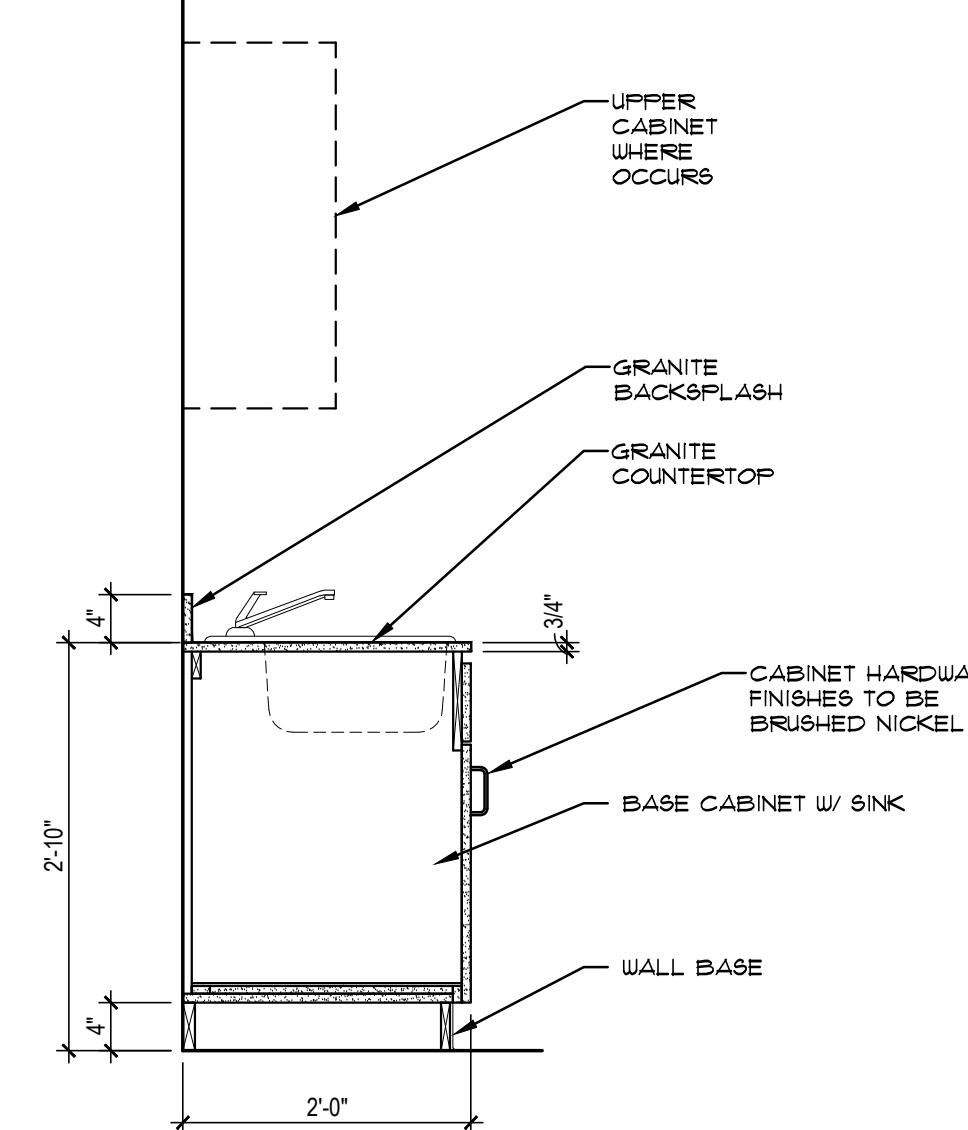
C2 BATHROOM CASEWORK
3/4" = 1'-0"



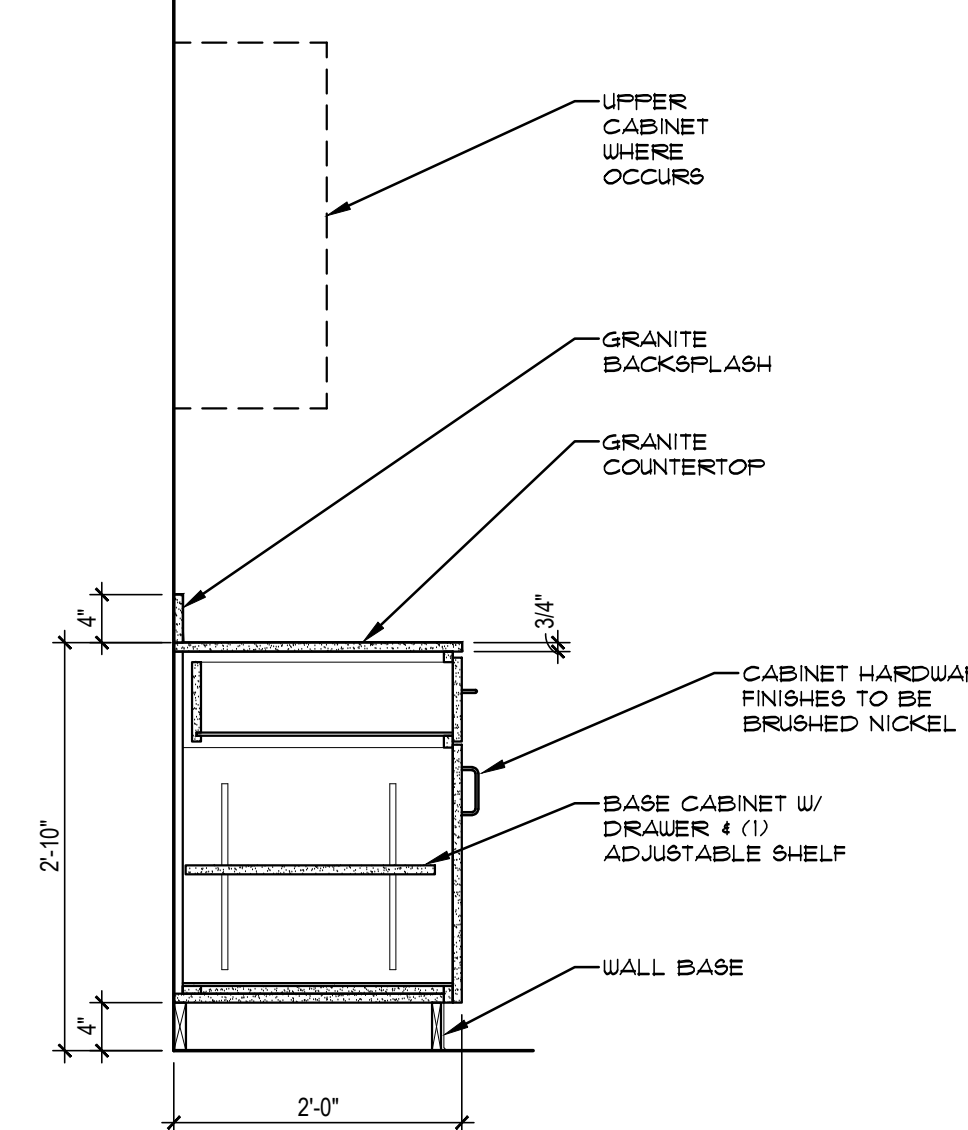
C4 BATHROOM CASEWORK
3/4" = 1'-0"



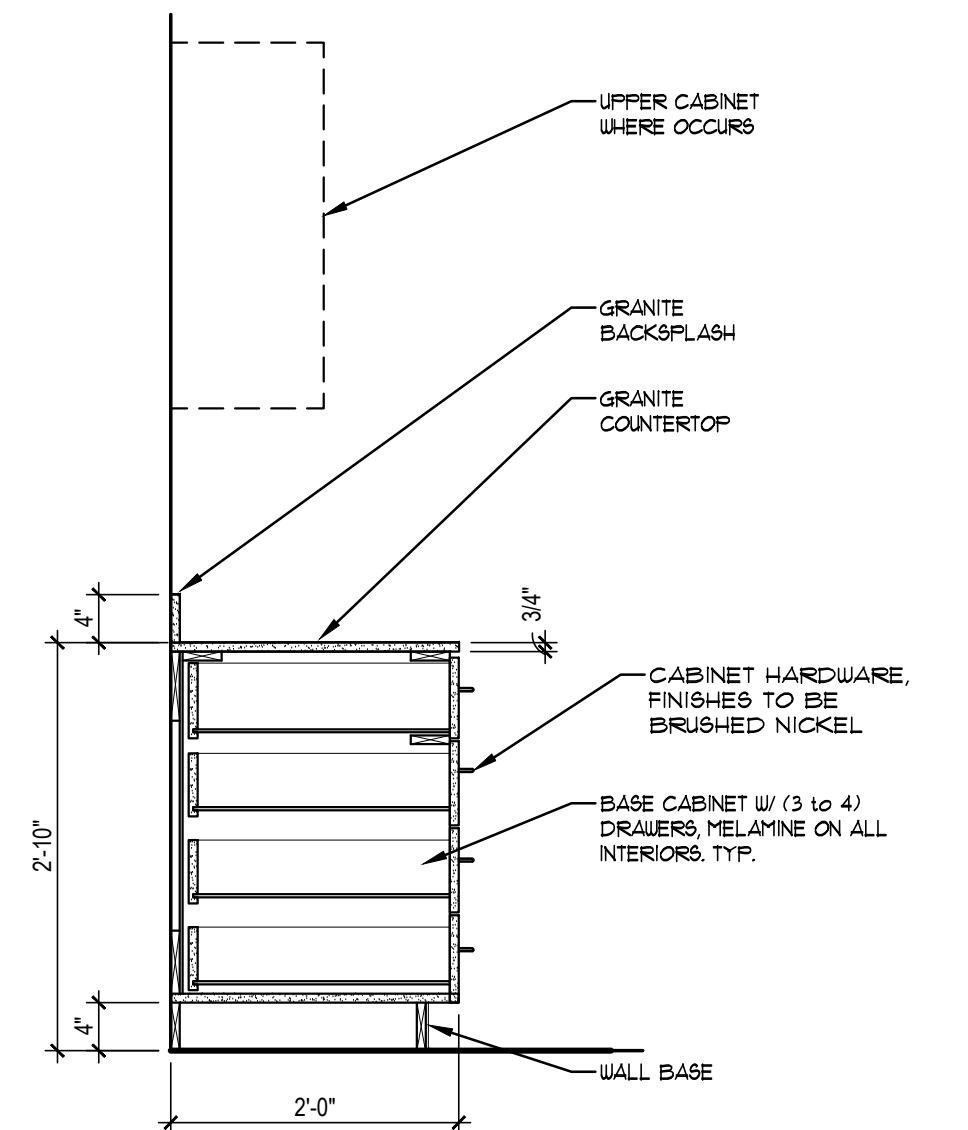
C5 CASEWORK DETAIL
3/4" = 1'-0"



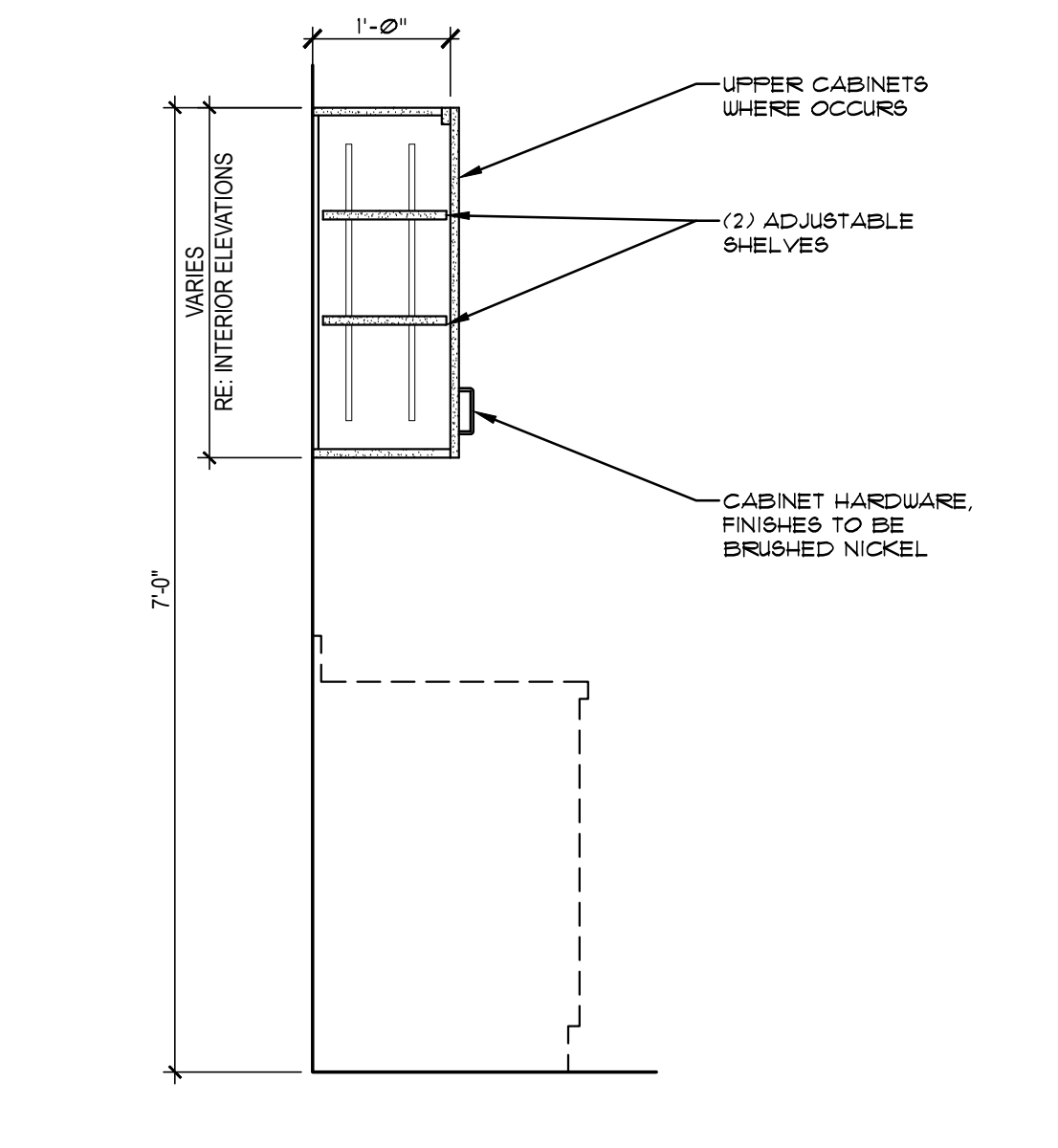
A1 CASEWORK DETAIL
3/4" = 1'-0"



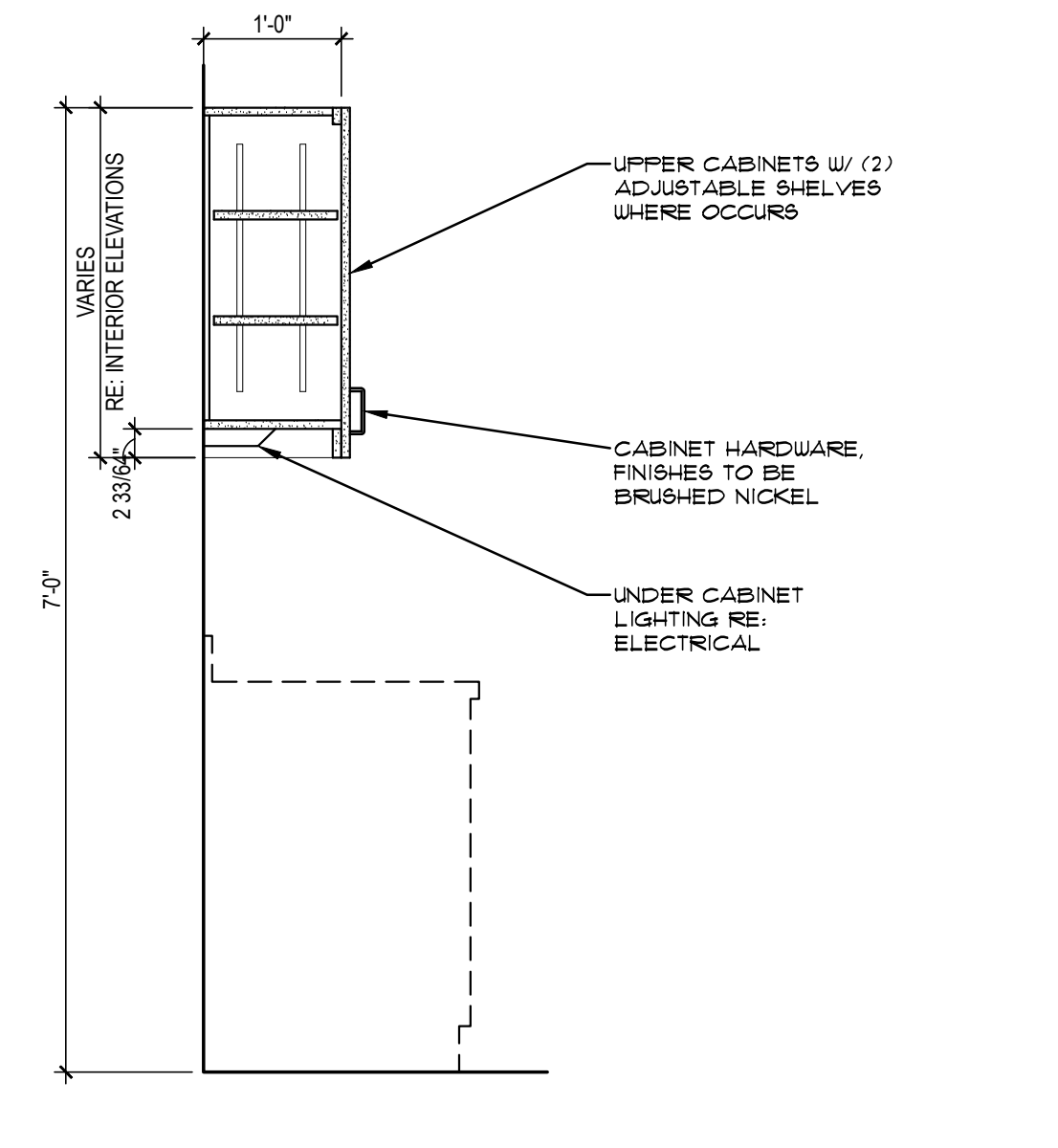
A2 CASEWORK DETAIL
3/4" = 1'-0"



A4 CASEWORK DETAIL
3/4" = 1'-0"



A5 CASEWORK DETAIL
3/4" = 1'-0"



A7 CASEWORK DETAIL
3/4" = 1'-0"

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UNIT FINISH SCHEDULE					
ROOM	FLOOR	BASE	WALLS	CEILING	REMARKS
ENTRY/STAIRWELL	A	G	L	L	
KITCHEN	A	G	L	L	CABINETS - I & J; COUNTERTOPS - E (SEE INT. ELEVATIONS)
BATH	C	G	L	L	CABINETS - K; COUNTERTOPS - F (SEE INT. ELEVATIONS)
LIVING/DINING	A	G	L	L	
MASTER BEDROOM	B	G	L	L	
BEDROOM	B	G	L	L	
HALLWAY	A	G	L	L	
HALLWAY 2ND FLOOR	B	G	L	L	
LAUNDRY	D	G	L	L	
STORAGE	A	G	L	L	
PATIO	G	--	--	--	SEE ELEVATIONS FOR EXTERIOR FINISHES
MECHANICAL	A	G	M	--	

- MATERIAL FINISH SCHEDULE:**
- A - VINYL PLANK, ARMSTRONG #A6422, CONCRETE STRUCTURES-SOHO GRAY
 - B - BROADLOOM CARPET- 25-30 OZ, COLOR SELECTED BY OWNER
 - C - TILE - DALTILE P620, DUNE
 - D - VCT - ARMSTRONG, COLOR SELECTED BY OWNER
 - E - COUNTERTOPS - GRANITE, COLOR AND FINISH SELECTED BY OWNER
 - F - COUNTERTOPS - CULTURED MARBLE, SOLID WHITE, FINISH SELECTED BY OWNER
 - G - MDF BASE BOARD, PAINT WHITE TO MATCH VINYL WINDOWS (PROFILE AND COLOR SELECTED BY OWNER)
 - H - SEALED LIGHTWEIGHT CONCRETE AT PATIOS
 - I - CABINETS - LEEDS EUROSTYLE SLAB DOOR, SLATE GRAY (HOME DEPOT)
 - J - CABINETS - LEEDS EUROSTYLE COPENHAGEN, GLASS DOOR ACCENT, SLATE GRAY (HOME DEPOT)
 - K - CABINETS - GLASGOW EUROSTYLE SLAB DOOR; LEGS, CHOCOLATE (HOME DEPOT)
 - L - GYP BOARD PAINTED, COLORS SELECTED BY OWNER.
 - M - GYP BOARD PAINTED, FIRE TAPED

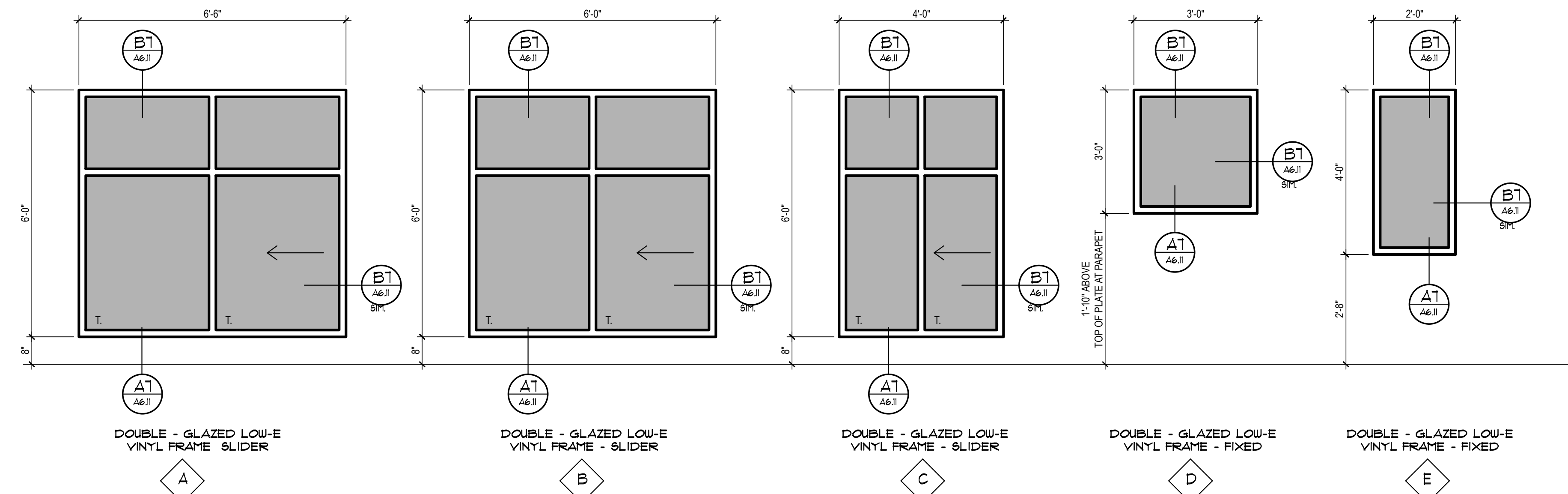
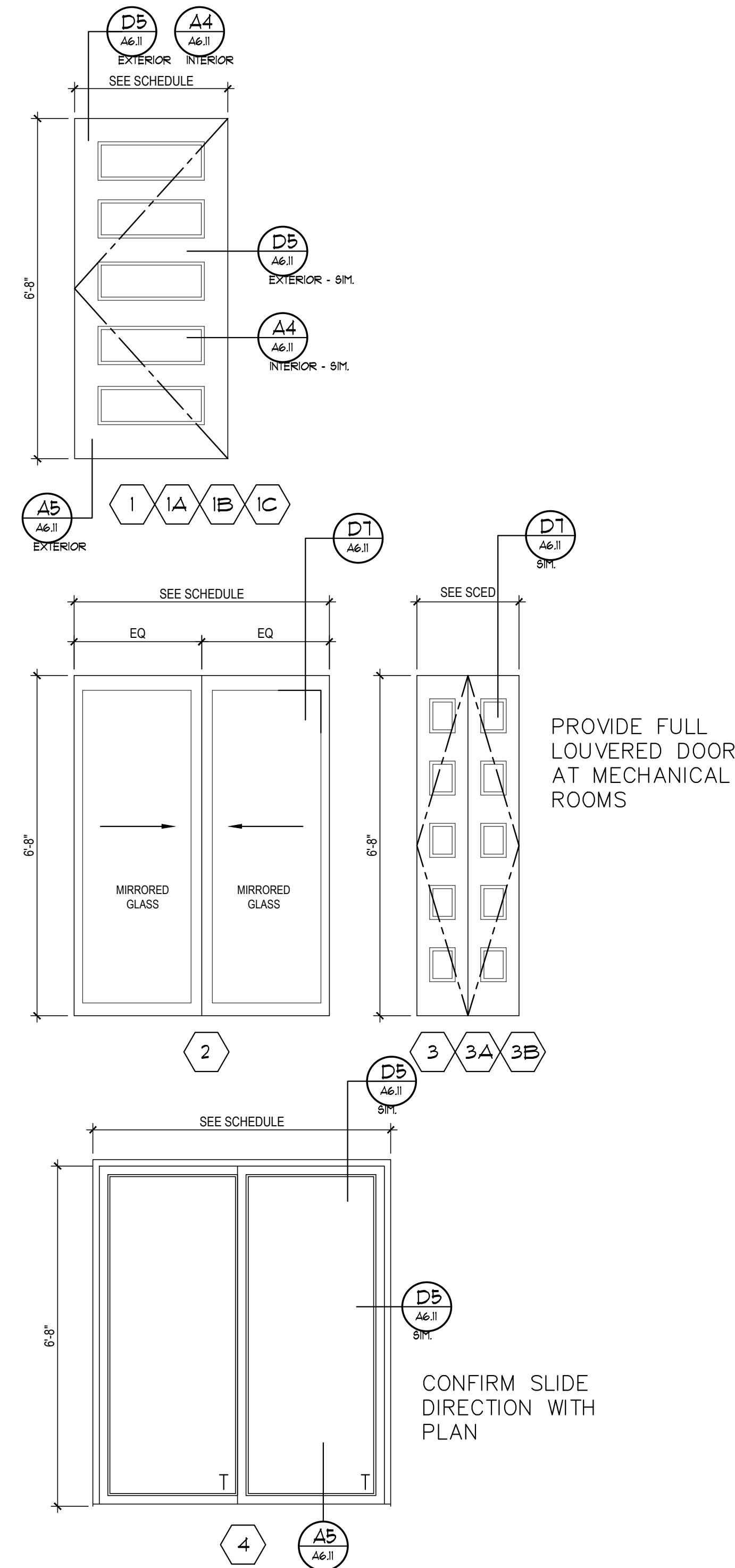
UNIT DOOR SCHEDULE										
NUMBER / TYPE	SIZE	THICKNESS	CONSTRUCTION	FINISH	GLASS	FRAME	RATING	HARDWARE	REMARKS	
1	3'-0" X 6'-8"	1-3/4"	SOLID CORE WD	PAINT	-	WD	-	1	PROVIDE CHAIN LATCH, WEATHERSTRIPPING EXTERIOR GRADE WOOD DOOR, & KNOCKER W/VIEWER (AT UNIT ENTRY DOORS)	
1A	3'-0" X 6'-8"	1-3/8"	WD	PAINT	-	WD	-	2	UNDERCUT DOORS 1"	
1B	2'-8" X 6'-8"	1-3/8"	WD	PAINT	-	WD	-	2	UNDERCUT DOORS 1"	
1C	3'-0" X 6'-8"	1-3/8"	WD	PAINT	-	WD	-	5	POCKET DOOR, UNDERCUT DOORS 1"	
2	6'-0" X 6'-8"	1-3/8"	WD	PAINT	-	WD	-	4	PROVIDE MIRRORS ON BOTH PANELS	
3	7'-0" X 6'-8"	1-3/8"	WD	PAINT	-	WD	-	3	DOUBLE BI-FOLD	
3A	4'-0" X 6'-8"	1-3/8"	WD	PAINT	-	WD	-	3	DOUBLE BI-FOLD	
3B	2'-8" X 6'-8"	1-3/8"	WD	PAINT	-	WD	-	3	SINGLE BI-FOLD	
3C	2'-0" X 6'-8"	1-3/8"	WD	PAINT	-	WD	-	3	SINGLE BI-FOLD	
4	6'-0" X 6'-8"	-	VINYL	WHITE	-	WD	-	-	HARDWARE BY MANUFACTURER	

NOTES:
 1. ALL GLAZING WITHIN 24" OF A DOOR TO BE TEMPERED GLASS.
 2. ALL HARDWARE TO BE BRUSHED ALUMINUM FINISH.
 3. ALL INTERIOR DOORS TO BE JELD-WEN SMOOTH 5-PANEL MOLDED DOORS OR APPROVED EQUAL.

- Hardware Schedule:
- Group 1 - Unit Entry Door
- a. 1-1/2 pair 4"x4" hinges by manufacturer 26D.
 - b. 1 Schlage passage Broadway lever with #82 deadbolt 26D KW keyway.
 - c. 1 Cal-Royal combination door viewer/door knocker #DK94 x 26D or approved equal.
 - d. 1 Cal-Royal Jumbo Flex Stop JFS-1 US 15A or approved equal.
 - e. 1 set weather stripping
 - f. 1 Trimco BBW 4048 Chain crash stop 26D
- Group 2 - Bath and Bedroom Doors
- a. 1-1/2 pair hinges 3-1/2"x3-1/2"x5/8" radius US26D by manufacturer.
 - b. 1 Schlage privacy Broadway lever 26D finish.
 - c. 1 Cal-Royal Jumbo Flex Stop JFS-1 US 15A or approved equal.
- Group 3 - Bi-fold Doors
- a. All hardware by door manufacturer.
 - b. 2 Cal-Royal Finger Pulls DIFF218 26D finish or approved equal.
- Group 4 - Bi-pass Doors
- a. All hardware by door manufacturer.
 - b. 2 Cal-Royal Finger Pulls DIFF218 26D finish or approved equal
- Group 5 - Pocket Door
- a. Johnson Hardware series 2511 Pocket Door Frame with jump proof box track, optional hidden door guides, and adjustable door hangers/slides.
 - b. Omnia Modern Collection Rectangular flush pull with privacy latch. US26D
- Keying:
- a. Unit Locks: Storage and Entry locks keyed alike per unit. All unit keys keyed to master. Provide four keys per unit.
 - b. Provide enough interchangeable cores for five additional units for turnover purposes.
- LEGEND
 T = TEMPERED
 WD = WOOD

WINDOW SCHEDULE						
NUMBER / TYPE	SIZE	FRAME	FINISH	GLASS	REMARKS	
A	6'-6" X 6'-0"	VINYL	WHITE	INSULATED	DUAL-GLAZED LOW-E SHGC 0.63	
B	6'-0" X 6'-0"	VINYL	WHITE	INSULATED	DUAL-GLAZED LOW-E SHGC 0.63	
C	4'-0" X 6'-0"	VINYL	WHITE	INSULATED	DUAL-GLAZED LOW-E SHGC 0.63	
D	3'-0" X 3'-0"	VINYL	WHITE	INSULATED	DUAL-GLAZED LOW-E SHGC 0.63	
E	2'-0" X 4'-0"	VINYL	WHITE	INSULATED	DUAL-GLAZED LOW-E SHGC 0.63	

NOTES:
 1. ALL GLAZING WITHIN 24" OF A DOOR TO BE TEMPERED GLASS.
 2. PROVIDE SCREENS ON OPERABLE PANELS OF ALL WINDOWS.



A6 DOOR TYPES
 1/2" = 1'-0"

A1 WINDOW TYPES
 1/2" = 1'-0"

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THE RENAISSANCE ON ELM
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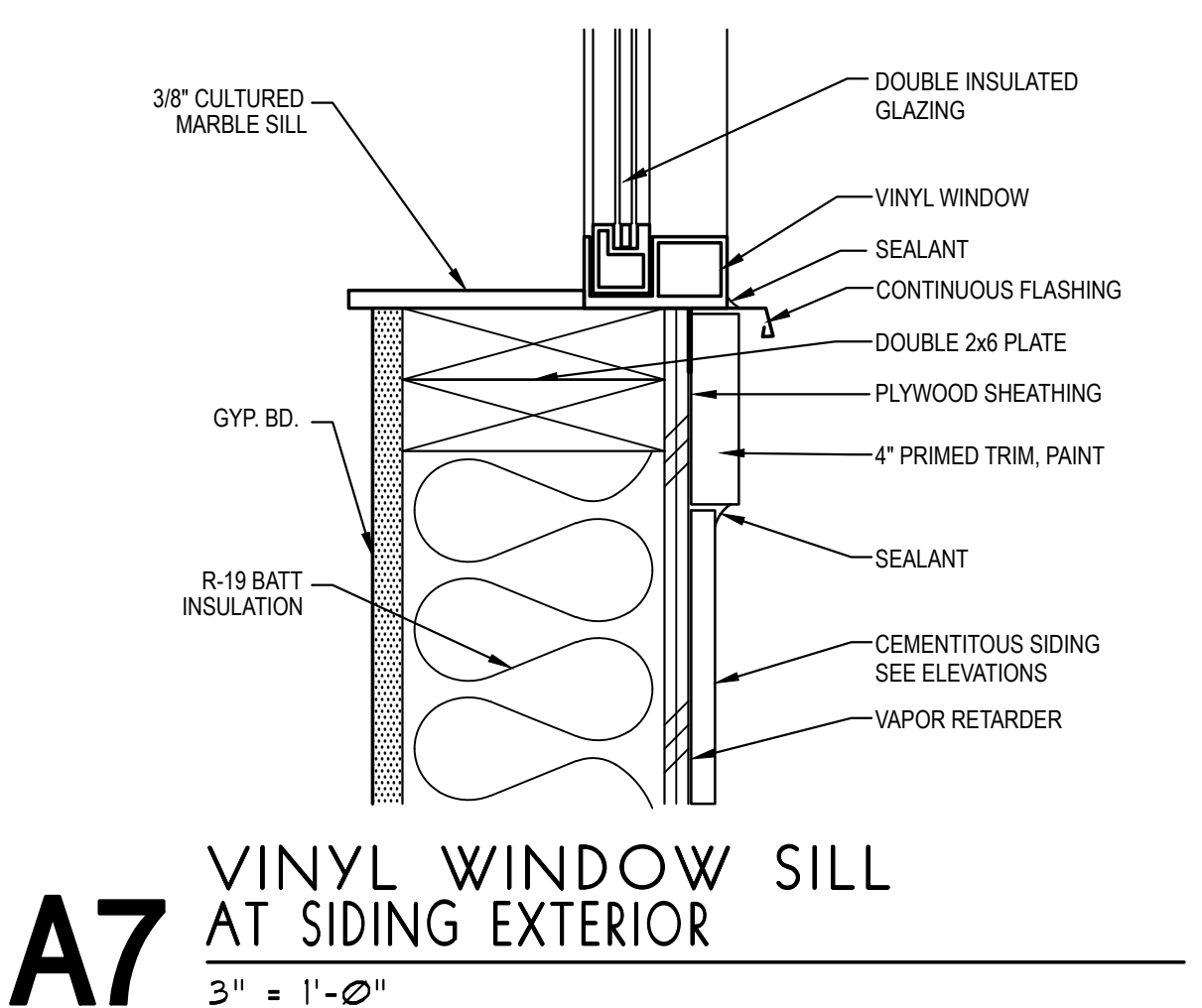
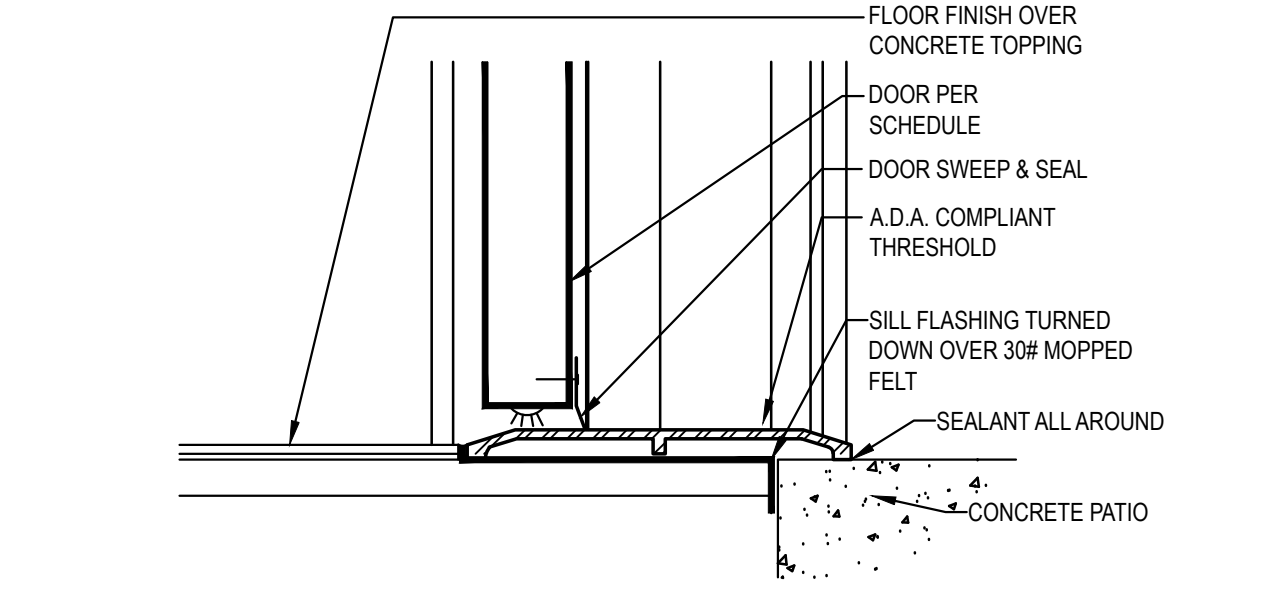
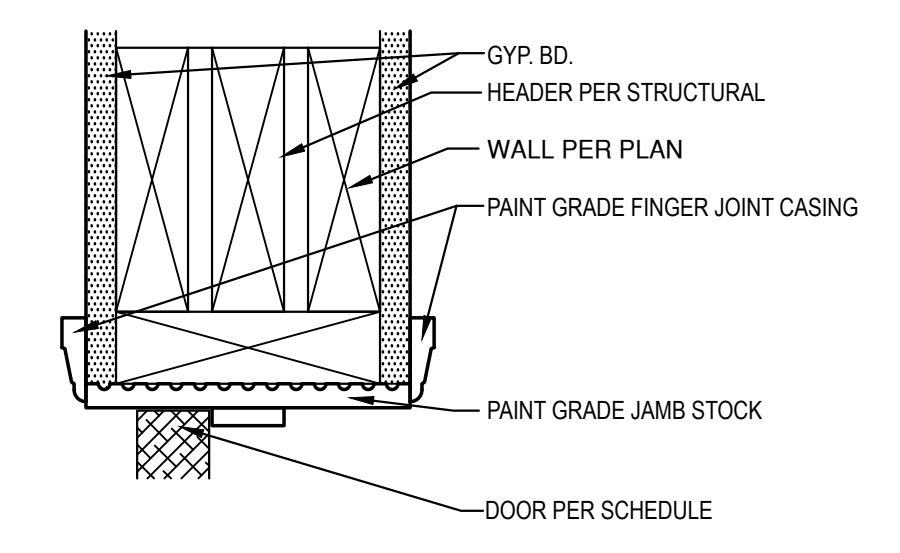
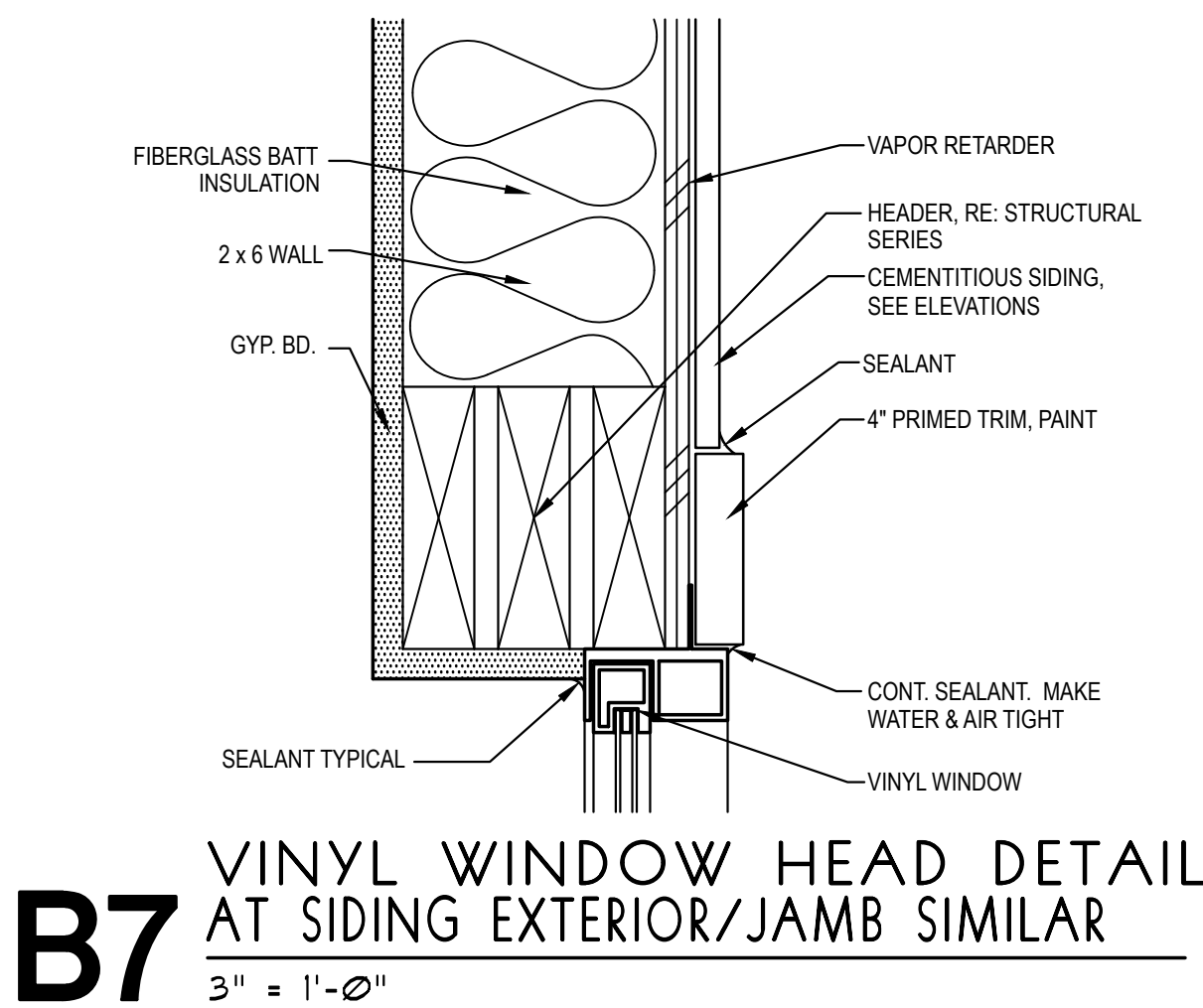
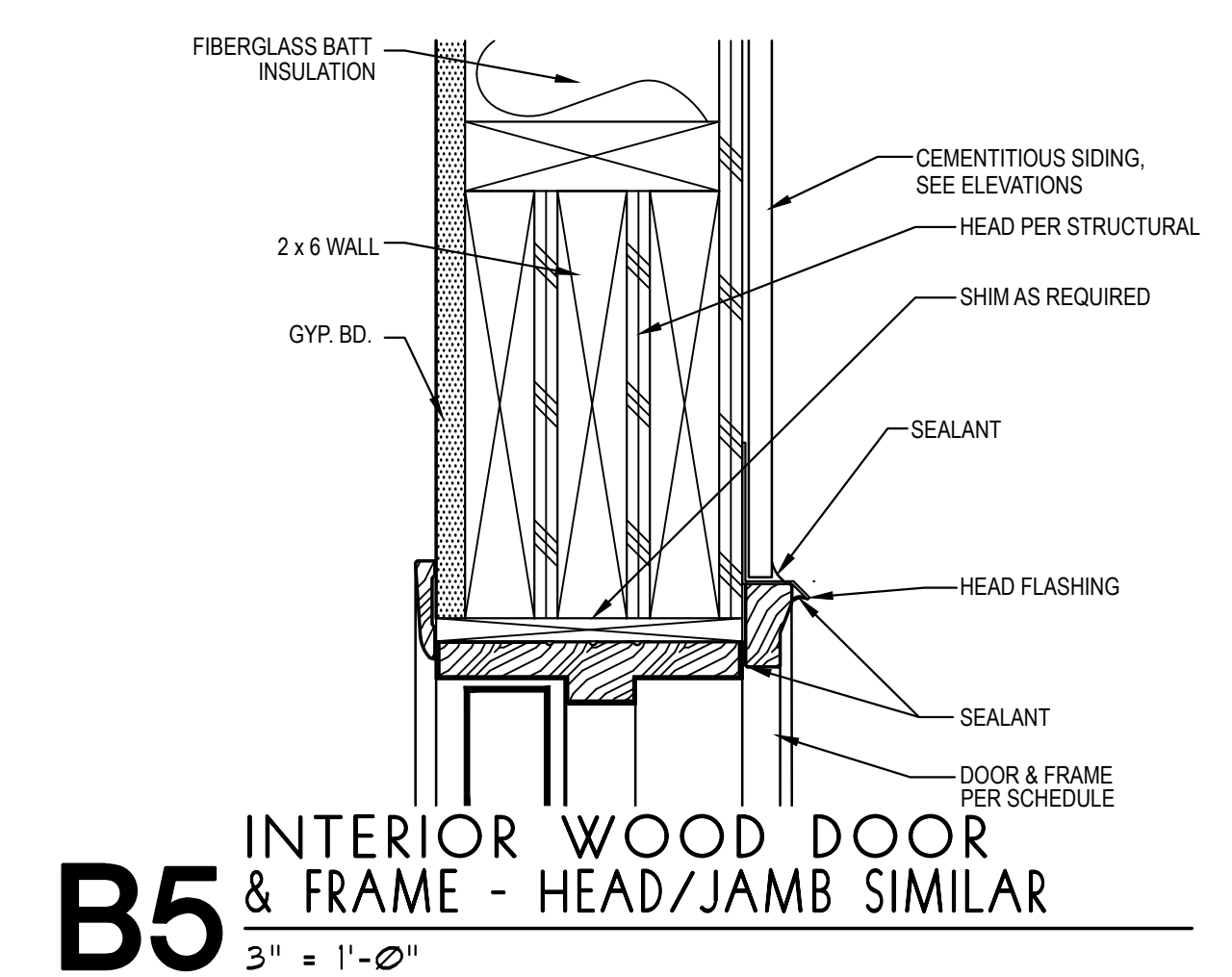
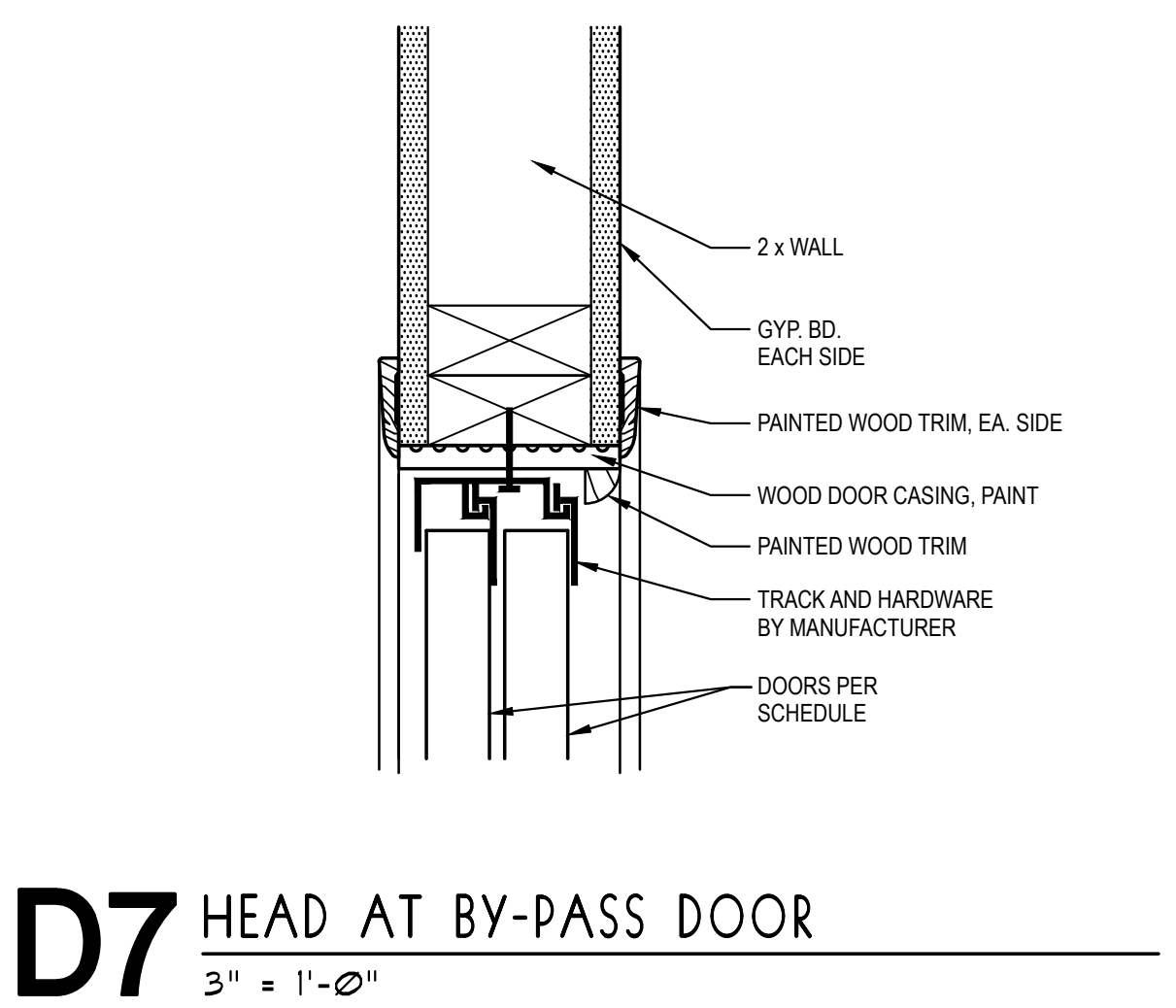
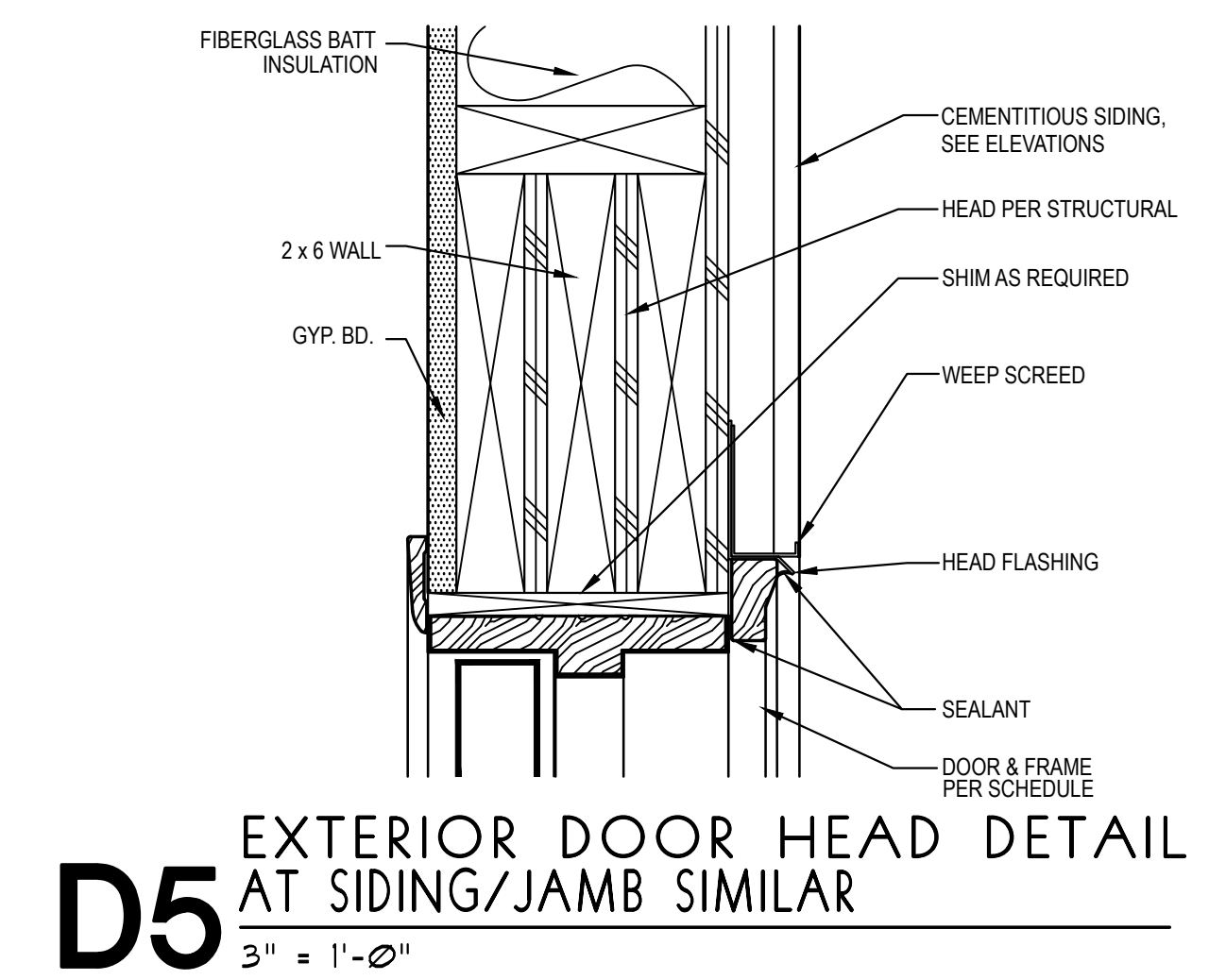
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MISC. DETAILS

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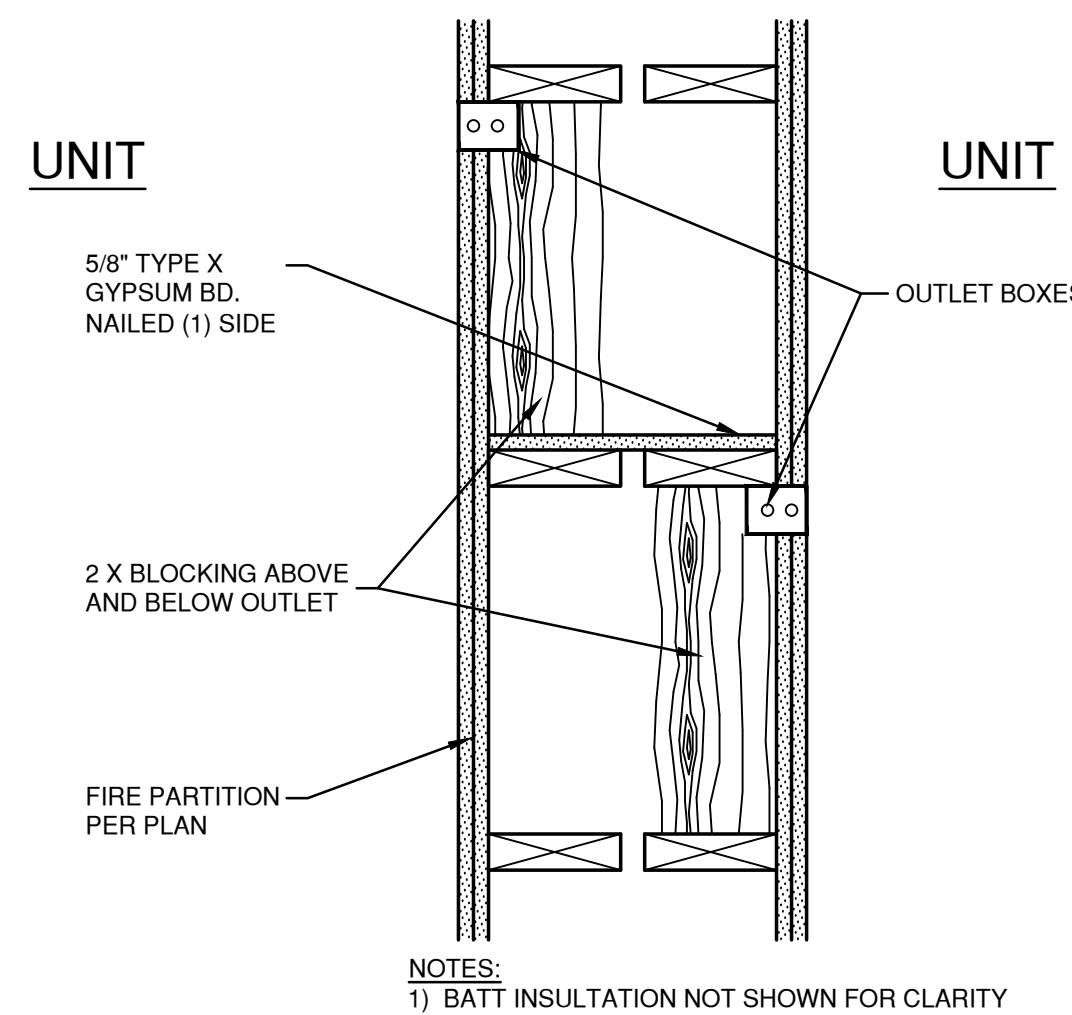
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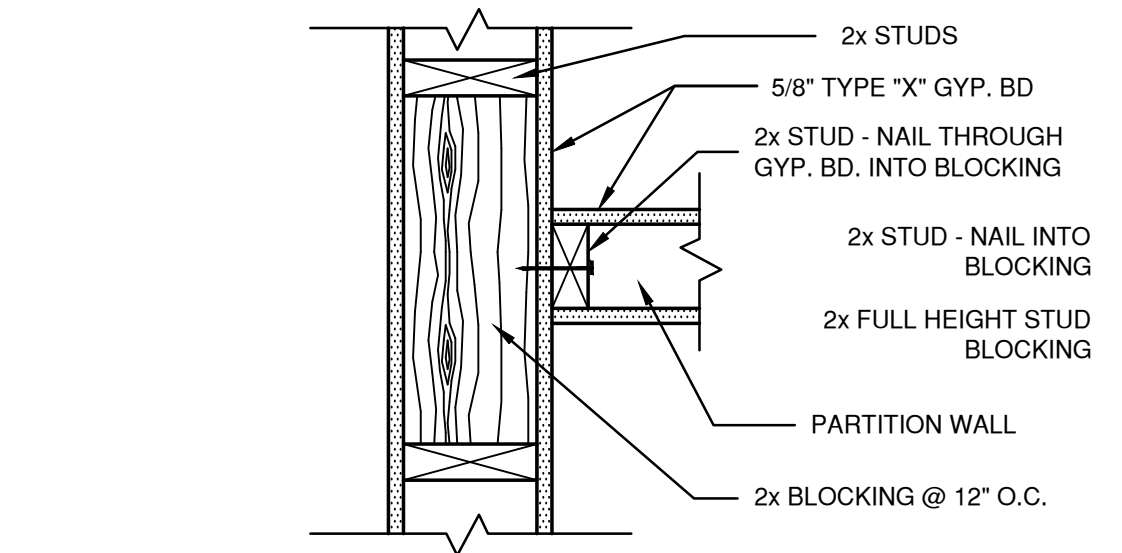
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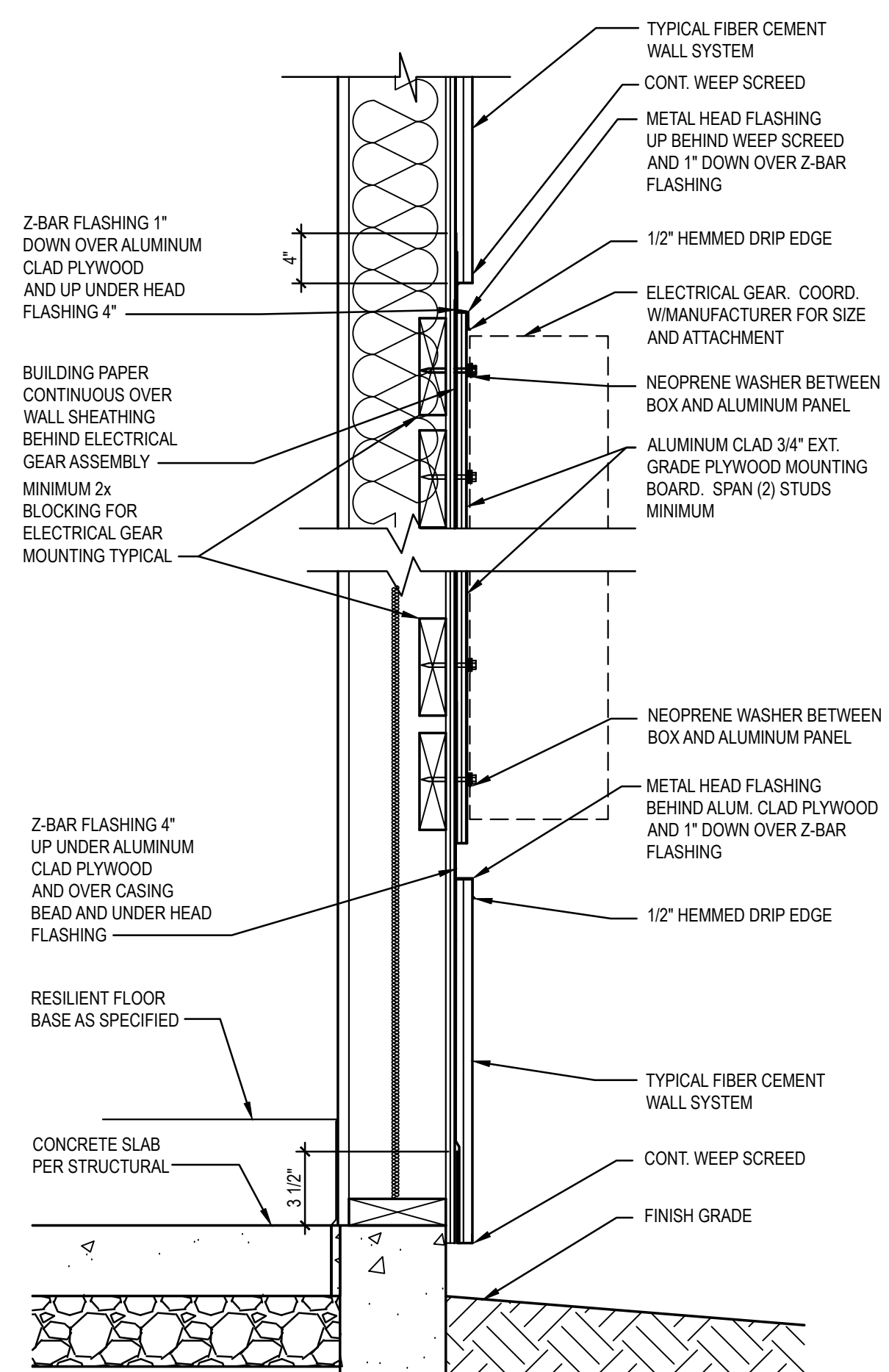
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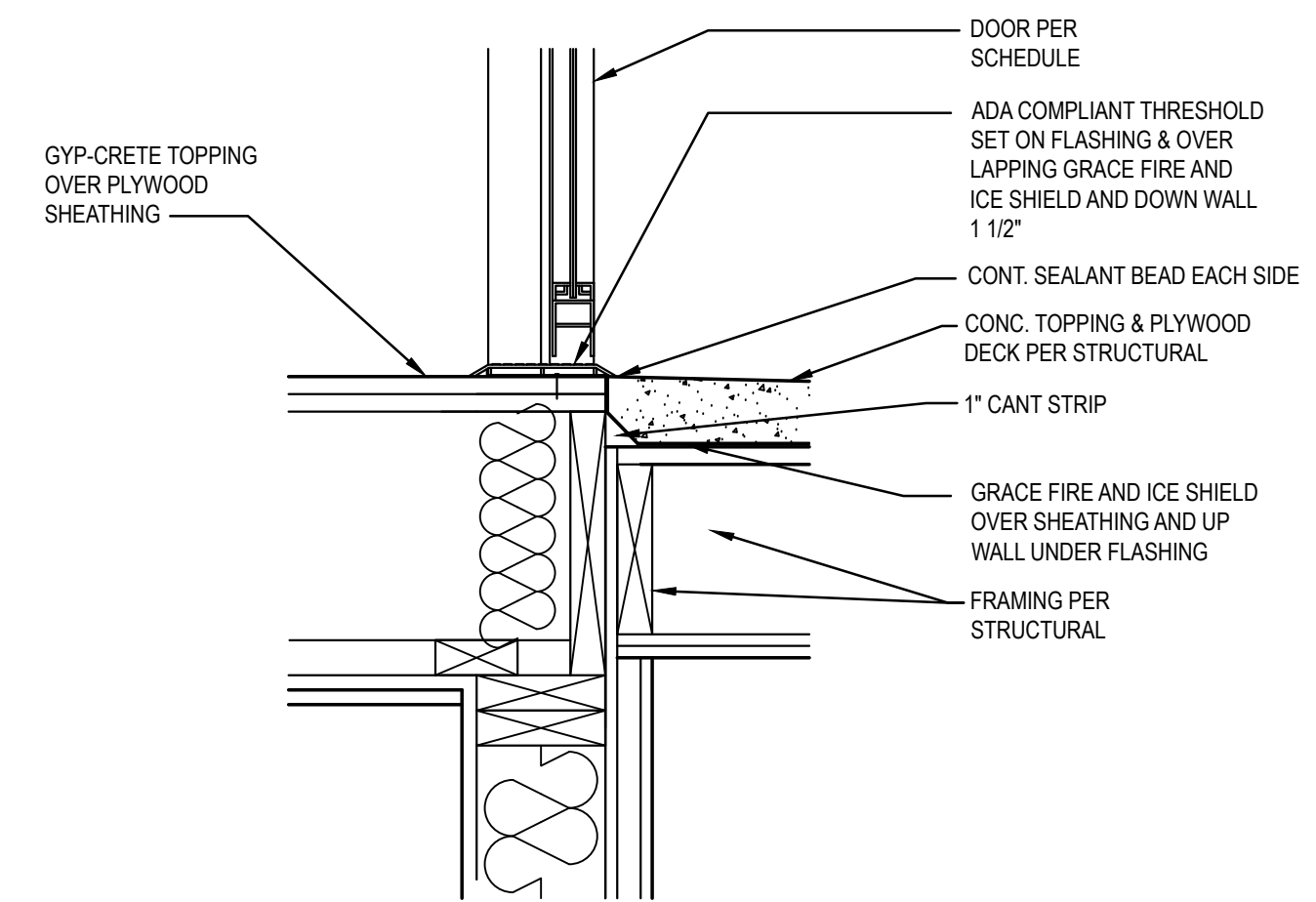
D5 LISTED ELECTRICAL OUTLET BOXES
FIRE MEMBRANE PENETRATION
SCALE: 1 1/2" = 1'-0"



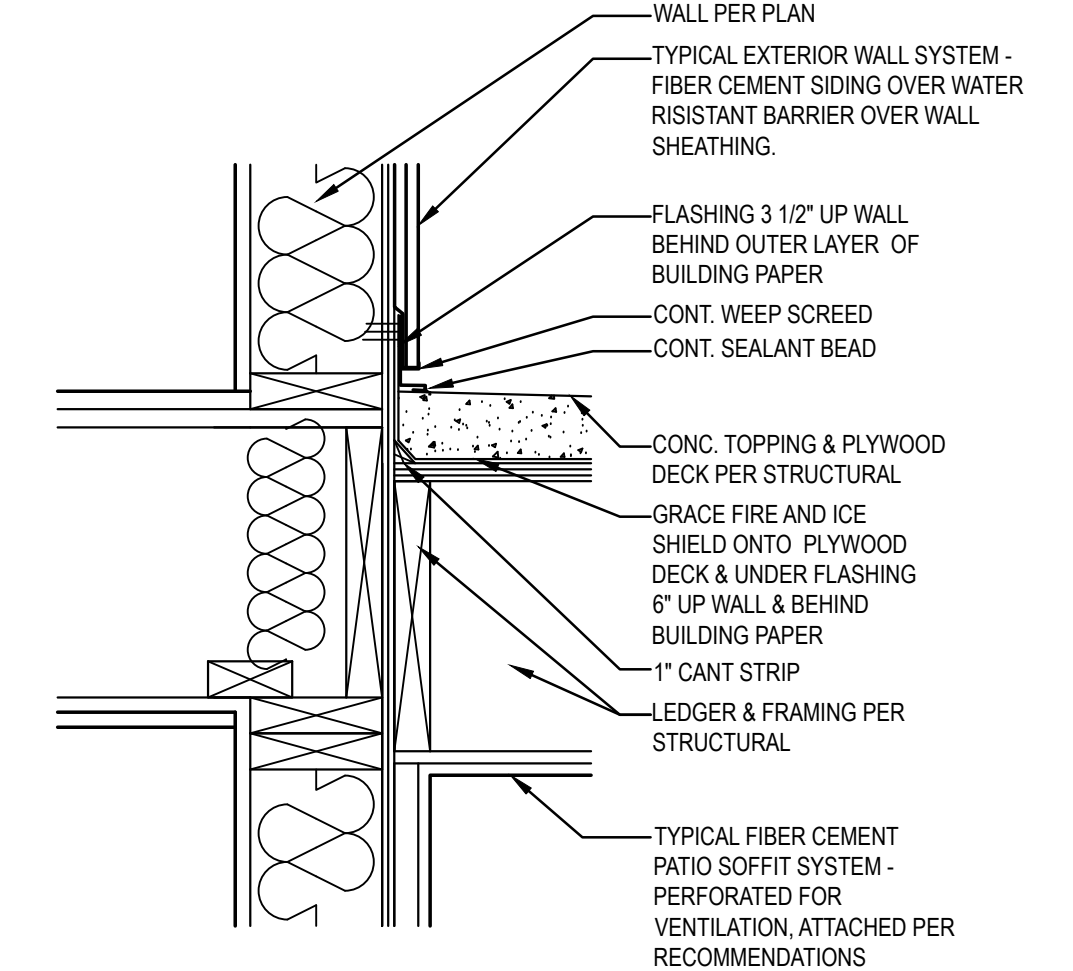
D7 FRAMING DETAIL
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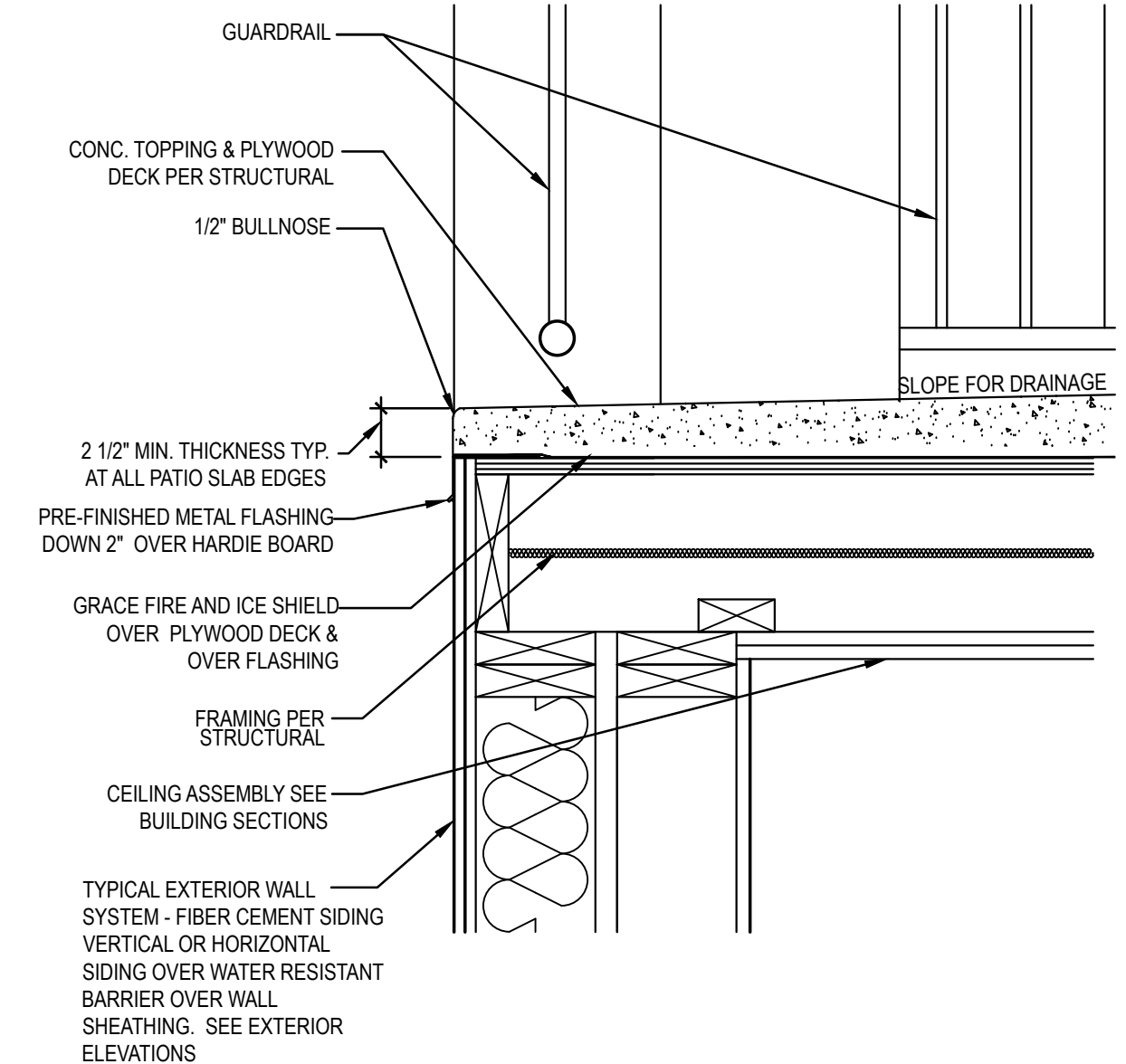
C1 WALL FINISH AND FLASHING
SCALE: 1 1/2" = 1'-0"



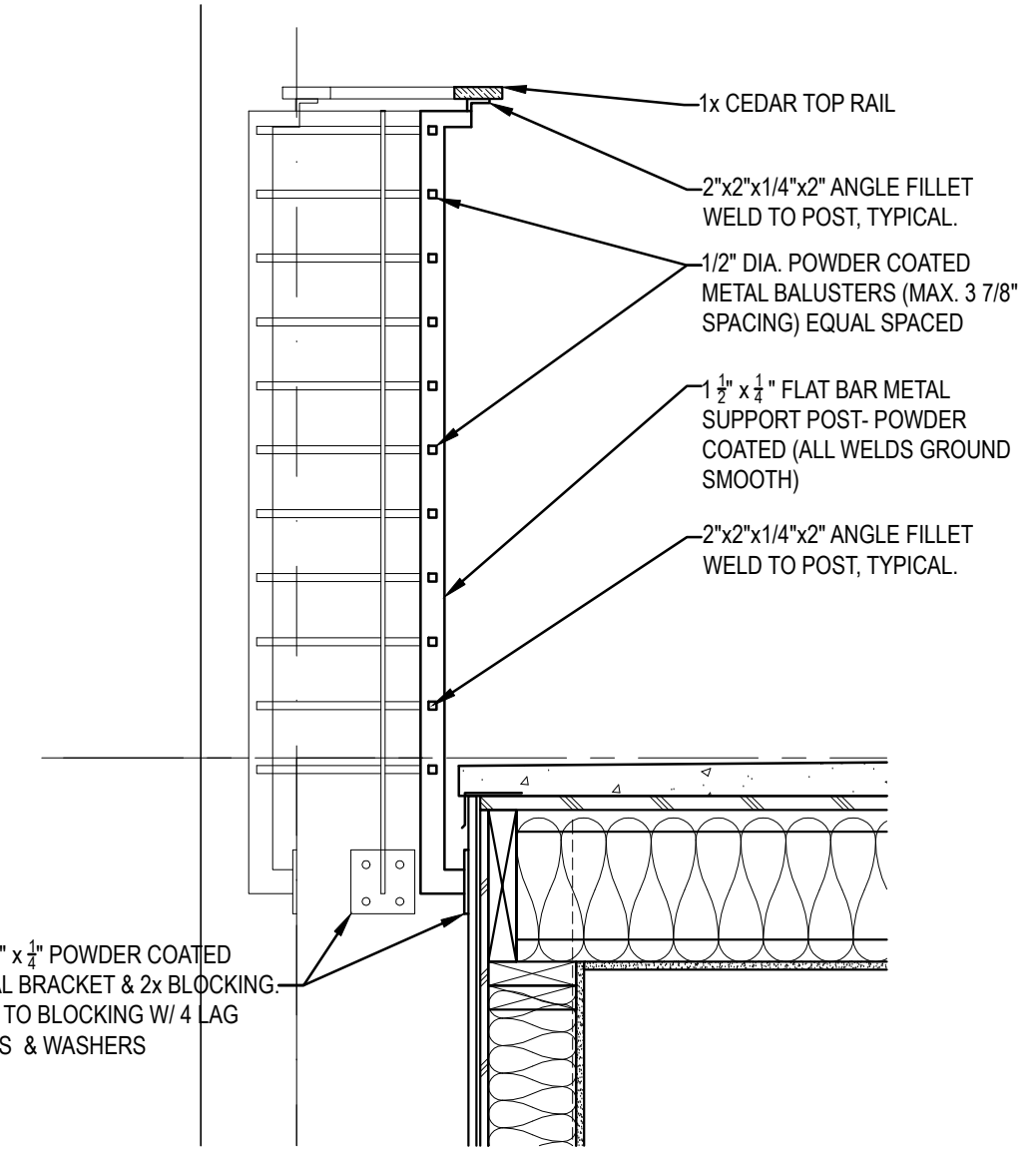
C3 PATIO DETAIL AT DOOR
SCALE: 1 1/2" = 1'-0"



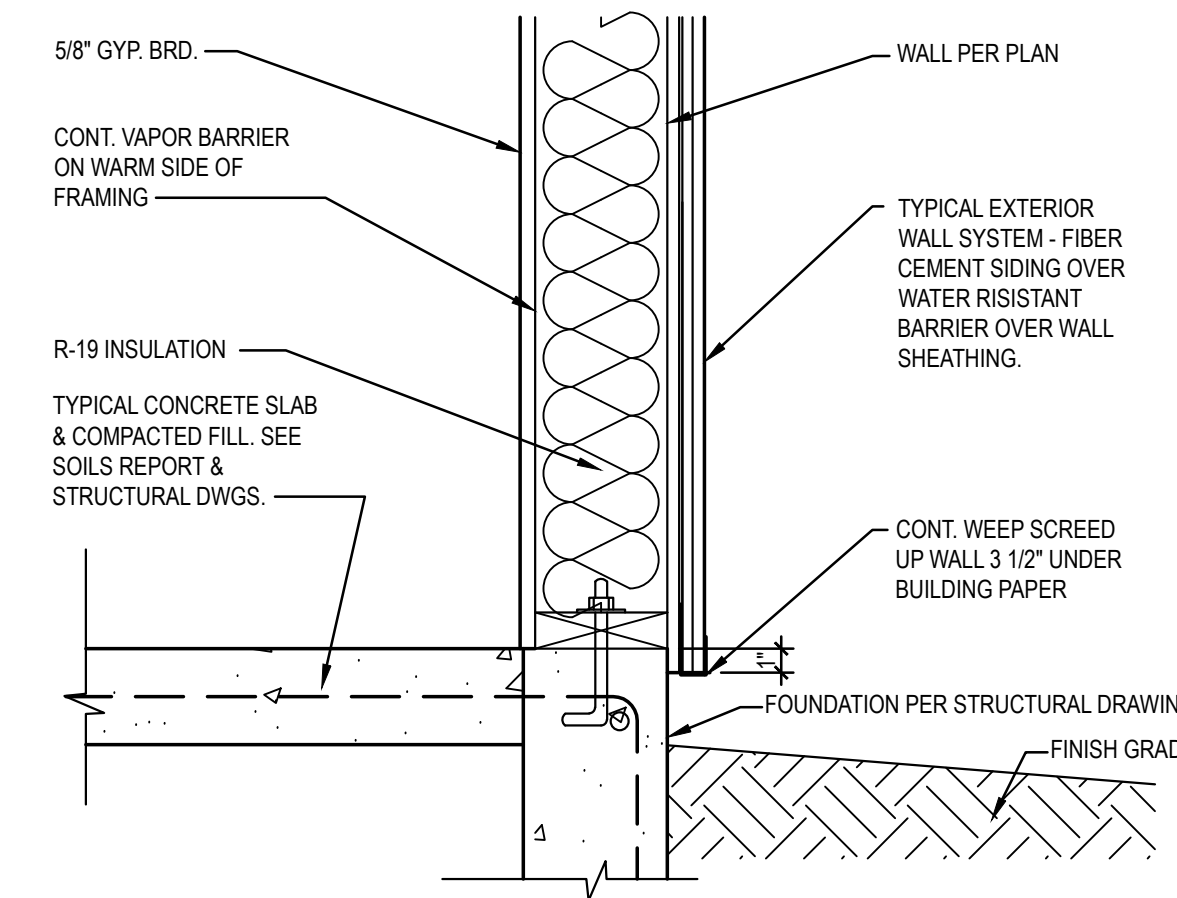
C5 PATIO DETAIL AT WALL
SCALE: 1 1/2" = 1'-0"



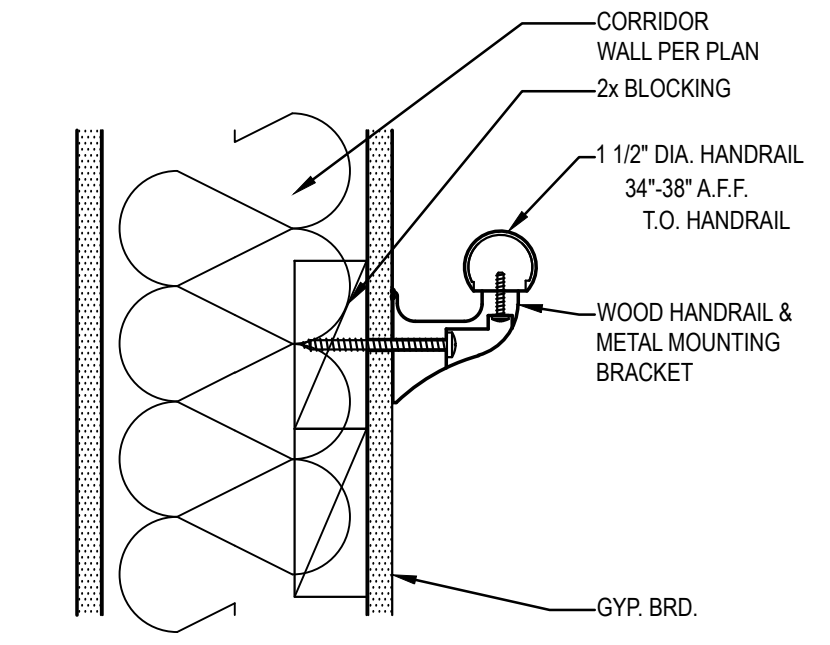
C7 PATIO DETAIL AT GUARDRAIL
SCALE: 1 1/2" = 1'-0"



A1 GUARDRAIL DETAIL
SCALE: 1" = 1'-0"



A5 WALL DETAIL AT FOUNDATION
SCALE: 1 1/2" = 1'-0"



A7 HANDRAIL DETAIL
SCALE: 3" = 1'-0"

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11/12/16 2:19:06 PM THINK Matt Huffield